



CITY OF OREM  
CITY COUNCIL MEETING  
56 North State Street, Orem, Utah  
April 14, 2020

*This meeting may be held electronically  
to allow a Councilmember to participate.*

NOTICE OF ALL-ELECTRONIC MEETING & PUBLIC COMMENTS

To minimize the potential spread of COVID-19, and as authorized by Utah Governor Gary Herbert's March 18, 2020 Executive Order, the Orem City Council meeting on April 14, 2020 will be an all-electronic meeting. There will be no public access to the Orem City Council chambers. Those desiring to view or participate in the meeting must do so electronically.

Those wishing to make comment should submit through:  
[orem.org/comments](http://orem.org/comments)

OR

[CityCouncilPublicComments@orem.org](mailto:CityCouncilPublicComments@orem.org)

Comments will be accepted before and during the meeting. All comments received will be read into the record during the live meeting. Once an item has been voted on, that item will be closed to additional comments. The live meeting event may be streamed at [orem.org/meetings](http://orem.org/meetings).

Thank you for your cooperation during these challenging times.

4:30 P.M. WORK SESSION - CITY COUNCIL CONFERENCE ROOM

**DISCUSSION - CARE Major Grant & Facility Presentations (45 minutes)**

Staff will present our annual "major grant reports" and discuss all other arts-related applications/recommendations from the City's CARE advisory commission.

*Presenter: Steven Downs*

1. AGENDA REVIEW & PREVIEW OF UPCOMING AGENDA ITEMS

The City Council will review the items on the agenda.

2. CITY COUNCIL REPORTS (BOARDS & COMMISSIONS, NEW BUSINESS, ETC.)

This is an opportunity for members of the City Council to raise issues of information or concern.

Presenter: Terry Peterson

6:00 P.M. REGULAR SESSION - COUNCIL CHAMBERS

3. CALL TO ORDER
4. INVOCATION/INSPIRATIONAL THOUGHT: BY INVITATION
5. PLEDGE OF ALLEGIANCE: BY INVITATION
6. MAYOR’S REPORT/ITEMS REFERRED BY COUNCIL
7. PERSONAL APPEARANCES – 15 MINUTES

Time has been set aside for the public to express their ideas, concerns, and comments on items not scheduled as public hearings on the Agenda. Those wishing to speak are encouraged to show respect for those who serve the city. Comments should focus on issues concerning the city. There will be no public access to the Orem City Council Chambers. Those desiring to comment in the meeting must do so electronically through the following:

[orem.org/comments](http://orem.org/comments)

OR

[CityCouncilPublicComments@orem.org](mailto:CityCouncilPublicComments@orem.org)

Comments will be accepted before and during the meeting. All comments received will be read into the record during the live meeting. (Please limit your comments to 3 minutes or less.)

8. CONSENT ITEMS

- 8.1. **APPROVAL OF MEETING MINUTES**

Minutes of City Council Meeting - March 31, 2020

[03.31.2020.ccmin DRAFT.docx](#)

- 8.2. **RESOLUTION - Authorizing the extension of the City Manager’s March 16, 2020 Proclamation declaring a local emergency in the City of Orem**

The City Attorney recommends that the City Council, by resolution, authorize the extension of the City Manager’s March 16, 2020 Proclamation declaring a local emergency in the City of Orem.

[RES--Extending Emergency 2020.docx](#)

[EXHIBIT A--Declaring a Local Emergency.Orem City.pdf](#)

9. SCHEDULED ITEMS

- 9.1. **PUBLIC HEARING - The City will receive public comment on the Community Development Block Grant (CDBG) Projected Use of Funds for Fiscal Year 2020-2021.**

The Community Services Manager recommends that the City Council hold the first of two public hearings to receive public comment on the projected uses of the funds for the 2020-2021 Community Development Block and review recommendations of the CDBG Advisory Commission.



*Presenter: Ken Ransom, Chairperson of the CDBG Advisory Commission and Kena Mathews, Community Services Manager*

[FY20 recommendations DeLora first pass 3.16.20.xlsx](#)

**9.2. PUBLIC HEARING - The City will receive public comment on the 2020-2024 Community Development Block Grant (CDBG) Consolidated Plan and the 2020 Annual Action Plan.**

The Community Services Manager recommends that the City Council hold the first of two public hearings to receive public comment on the adoption the Community Development Block Grant (CDBG) Consolidated Plan for HUD Program Years 2020-2024 and the 2020 Action Plan.

*Presenter: Kena Jo Mathews, Community Services Manager, and Steven Downs, Deputy City Manager*

**9.3. PUBLIC HEARING - Amending Section 22-6-9(G)(2) Private Schools and Commercial Day Care Services by clarifying language.**

The Planning Commission recommends the City Council, by ordinance, amend Section 22-6-9(G)(2) Private Schools and Commercial Day Care Services of the Orem City Code pertaining to proximity of commercial day care services in a residential zone.

*Presenter: Jason Bench*

[Agenda-CommercialDayCare-SeparationRequirement.docx](#)

[Resolution-CommercialDayCare-SeparationRequirement.docx](#)

[Ordinance-CommercialDayCare-SeparationRequirement.docx](#)

[DRC Application.pdf](#)

[Section 22-6-9\(G\)\(2\) Day Care Services PC Minutes 3.18.2020.docx](#)

**9.4. PUBLIC HEARING – The applicant (The Church of Jesus Christ of Latter-Day Saints) request the city enact Section 22-11-63 PD-50 (Orem Utah Temple – 1465 South Geneva Road) Zone, and Appendix “XX” of the Orem City Code, and amend Article 22-5-3(A) and the zoning map of the City of Orem by changing the zone on approximately 15.39 acres from the OS5 zone to the PD-50 zone at 1465 South Geneva Road.**

The Planning Commission recommends the City Council, by ordinance, enact Section 22-11-63 (PD-50 Zone (Orem Utah Temple) – 1465 South Geneva Road) and Appendix “XX” of the Orem City Code, and amend Article 22-5-3(A) and the zoning map of the City of Orem by changing the zone on approximately 15.39 acres from the OS5 zone to the PD-50 zone at 1465 South Geneva Road.

*Presenter: Jason Bench*

[Agenda-PD50-LDSTemple.docx](#)

[Location Map\\_Temple.pdf](#)

[Concept Plan.pdf](#)

[Elevations Orem Utah Temple.pdf](#)

[PD-50 Text-LDSTemple \(1\).doc](#)

[Appendix XX.docx](#)

[Neighborhood meeting minutes\\_Orem Utah Temple.pdf](#)

[20200401\\_1\\_MailerFront\\_CC Notice.pdf](#)

[20200401\\_1\\_MailerBack\\_CC Notice.pdf](#)

[Mailing\\_Labels\\_CC Notice.docx](#)  
[DRC Application\\_Rezone - Orem Utah Temple - 3.12.2020.pdf](#)  
[Resolution-PD50-LDSTemple.docx](#)  
[Planning Commission Minutes\\_Orem Utah Temple\\_Draft 4.1.2020.docx](#)

10. COMMUNICATION ITEMS

**10.1. MONTHLY FINANCIAL SUMMARY - February 2020**

For Review

[Monthly Financial Summary - Feb 2020.pdf](#)

11. CITY MANAGER INFORMATION ITEMS

This is an opportunity for the City Manager to provide information to the City Council. These items are for information and do not require action by the City Council.

12. ADJOURN

**THE PUBLIC IS INVITED TO PARTICIPATE IN ALL CITY COUNCIL MEETINGS.**  
**If you need a special accommodation to participate in the City Council Meetings and Study Sessions,**  
**please call the City Recorder's Office at least 3 working days prior to the meeting.**  
**(Voice 801-229-7000)**

**This agenda is also available on the City's webpage at [orem.org](http://orem.org)**

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CITY OF OREM  
CITY COUNCIL MEETING  
56 North State Street Orem, Utah  
March 31, 2020

*This meeting was held electronically  
to allow a Councilmember and Staff to participate.*

## **3:00 P.M. WORK SESSION – CITY COUNCIL CONFERENCE ROOM**

CONDUCTING Mayor Richard F. Brunst

ELECTED OFFICIALS Jeff Lambson, Debby Lauret, Tom Macdonald, Terry Peterson, David Spencer and Brent Sumner

APPOINTED STAFF Jamie Davidson, City Manager; Brenn Bybee, Assistant City Manager; Steven Downs, Deputy City Manager; Greg Stephens, City Attorney; Jason Earl, Deputy Fire Chief; Gary Giles, Police Chief; Ryan Clark, Development Services Director; Charlene Crozier, Library Director; Chris Tschirki, Public Works Department Manager; Brandon Nelson, Finance Department Manager; Karl Hirst, Recreation Department Manager; Jason Bench, Planning Division Manager; Nicole Lareau, Budget Officer; Ernesto Lazalde, I.T. Division Manager; Pete Wolfley, Communication Specialist and JoD'Ann Bates, City Recorder

### **DISCUSSION - Amended Contract with Sleepy Ridge**

Mr. Bybee addressed the Council and indicated Mr. Hirst was also present and is the staff representative for the Recreation Department. Mr. Bybee reviewed some historical information regarding the agreement with Sleepy Ridge Golf Course.

Mr. Davidson indicated the intent of the contract has always been to be in a relationship where both parties benefit from the golf course. Several years ago, they began discussions with Golden Holt of Golden Landscaping regarding the agreement and performance of that agreement. It was presented by Mr. Holt that they have struggled to recoup his investment as part of this relationship, and he asked if the city would be willing to consider amending the agreement to extend the term of the lease agreement beyond 2046. With this in mind and understanding there needed to be a basis for this extension the city asked Lewis Young Robertson & Burningham (LYR&B) to take a look at how the golf course, suites and relationship has done since the inception and if consideration should be extended to Golden Landscaping in extending the lease beyond 2046 based on a financial advantage not just for Golden Landscaping but for both parties.

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1 Mrs. Laura Lewis of LYR&B reviewed their involvement in the agreement and indicated they  
2 have reviewed all the data and have come up with the base Mr. Davidson indicated and turned  
3 the time over to her co-worker to present the findings.

4  
5 Ms. Teresa Pinkal of LYR&B reviewed the understanding of the agreement and golf course net  
6 income information. Using that information, they built a baseline projection assumptions and  
7 golf course net income. She continued to review information regarding the green fee revenue,  
8 green fees & golf cart revenue, driving range revenue and the suites net income (commercial  
9 space) which made up their proposed baseline projection assumptions.

10  
11 Mayor Brunst inquired due to the club house doing wedding receptions if that was included. Ms.  
12 Pinkal indicated those revenues were included in the Suite figures.

13  
14 Ms. Pinkal continued to review the combined net income.

15  
16 Discussion ensued regarding how the golf course development came to be and some specifics  
17 understood by staff as to the process. Further discussion continued regarding the ownership, the  
18 clubhouse and possible future uses and needs.

19  
20 Mrs. Lewis reviewed the considerations of the contract extension and indicated it is typically not  
21 feasible for a city to own a golf course and felt that even if the agreement is extended neither  
22 party will fully recoup the original investment.

23  
24 Mr. Davidson stated from the perspective of the city and the surrounding neighborhoods this  
25 property was always intended or envisioned to be open space. If the city ever went down a path  
26 that would differ from that expectation, he feels it would be extremely controversial. He echoes  
27 Mrs. Lewis's feelings, he has worked for 3 cities that owned, in one way or another a golf course  
28 and none of them could make money those golf courses. As he looks at this agreement with  
29 Sleepy Ridge, he sees it as the most ideal relationship compared to previous ones he has been  
30 involved with in other cities. They have a unique facility where they own the property and open  
31 space but has an operator that maintains and runs the golf course with almost zero out of pocket  
32 expense to the city. He feels that due to prior experience, the primary question is, come 2046  
33 does the city want to be in the golf course business. He feels by extending the agreement they  
34 continue to have open space; a golf course and they have the opportunity to benefit from  
35 something that is really no out of pocket to the city.

36  
37 Discussion ensued regarding the expectation of that area being maintained as open space and  
38 what would happen at the end of the lease with the buildings and the open space. Discussion  
39 continued regarding options and fallout of either party that withdrawals from the agreement and  
40 the ownership once the agreement is complete.

41  
42 General consensus of the council was to move forward with the city meeting with Golden  
43 Landscaping to amend the lease agreement and bringing it back before the Council for further  
44 review and approval.

## BUDGET DISCUSSION - Fiscal Year 2019-2020 Budget

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Mr. Davidson voiced his appreciation to Mr. Nelson and Ms. Lareau for their efforts in compiling the budget information. They were in the middle of getting the budget done for 2020 & 2021 and felt good about the direction it was going, then the pandemic hit, and it has thrown a little chaos into the planning. It has required them to not only look at next years budget but also have conversations with each department about the current fiscal year. What they would like to share involves the current year budget and changes they have made along with how they are moving forward with the next years budget. He stated this has been like looking at a crystal ball in trying to figure out what the pandemic will do to the economy in the short and midterm. He feels it will impact both this year and next year's budgets, he's just not sure how it will affect them.

Mr. Nelson reviewed the current fiscal year 2020 revenue operations starting with the city-wide budget cuts. Staff was asked to cut approximately 3% from their ongoing operational budget with exception to accounts tied to personnel and benefits. He continued to review the major general fund revenues to date.

General discussion ensued regarding the amount of sales tax that will be affected due to the current pandemic and projections as to the length of the pandemic and how that will affect the budget.

Mr. Nelson continued to review other major revenue funds and rather they would be affected by the lack of sales tax due to the pandemic. He also stated there may be a potential issue that may arise due to the sales tax submissions being pushed back.

## BUDGET DISCUSSION - Fiscal Year 2020-2021 Revenues & Compensation

Mr. Nelson reviewed the fiscal year 2021 major General Fund revenues indicating this is something that will change as the pandemic issue continues. For the time being they have left the budget as proposed but he asked the Council to keep in mind some of the amounts will indeed change over the coming weeks. He indicated the property tax may increase if they maintain the current rate levy. He continued to review other major revenues stating they are not proposing any increases with the exception of the storm water and solid waste fees. Those fees they are moving forward with an increase due to either it is part of the master plan or due to increases from the vendor they work with.

Mr. Nelson reviewed the Compensation and Benefits in relation to the 2021 budget.

Discussion ensued regarding making decisions in unknown times and the concern of those discussions.

Mr. Davidson reviewed the public safety tier II retirement changes in the 2019 & 2020 legislative sessions. He stated that at this point in time they are not sure where they will be at the beginning of the new fiscal year of July, 2020 and commented that all budget numbers are reflective of the July 1, 2020 implement date.

Discussion ensued regarding the deadline to approve the budget and how they would present these numbers not knowing what the what they are going to become the time the budget is approved.

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## DISCUSSION - Southwest Orem Area

Mr. Bench stated they were able to go around and see what other temples have done with the surrounding areas. They have not been able to have any public meetings due to the current pandemic. He continued to review the information that was collected from the Draper, Mtn. Timpanogos, Jordan River, Ogden, Oquirrh Mtn. and Payson LDS Temples.

Mr. Davidson indicated he feels the City Council will need to have the conversation in the near future, regarding the general plan. They will need to look at the need to make a change if necessary and what those changes would be.

## Agenda Review & Preview of Upcoming Agenda Items

The City Council discussed the items on the evening's agenda; Mr. Bench provided additional information regarding the scheduled item.

## City Council Reports (Boards and Commissions, New Business, Etc.)

There were not reports/new business.

## **6:00 P.M. REGULAR SESSION – COUNCIL CHAMBERS**

### CONDUCTING

Mayor Richard F. Brunst

### ELECTED OFFICIALS

Jeff Lambson, Debby Lauret, Tom Macdonald, Terry Peterson, David Spencer and Brent Sumner

### APPOINTED STAFF

Jamie Davidson, City Manager; Brenn Bybee, Assistant City Manager; Steven Downs, Deputy City Manager; Greg Stephens, City Attorney; Jason Earl, Deputy Fire Chief; Gary Giles, Police Chief; Ryan Clark, Development Services Director; Charlene Crozier, Library Director; Brandon Nelson, Finance Department Manager; Karl Hirst, Recreation Department Manager; Chris Tschirki, Public Works Department Manager; Jason Bench, Planning Division Manager; Ernesto Lazalde, IT Division Manager; Steve Earl, Deputy City Attorney; Pete Wolfley, Communications Specialist; and JoD'Ann Bates, City Recorder.

### INVOCATION /

### INSPIRATIONAL THOUGHT

Mike Cunningham

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**PLEDGE OF ALLEGIANCE** Wei Cunningham, Tiger Cub Pack 1706

## **MAYOR'S REPORT/ITEMS REFERRED BY COUNCIL**

### Natural Resource Stewardship Committee Annual Update

A video power point was given remotely to the Mayor and City Council.

Mayor Brunst conveyed his appreciation for the Natural Resource Stewardship Committee and all they do and continue to do for the residents of Orem.

## **PERSONAL APPEARANCES**

Time was allotted for the public to express their ideas, concerns, and comments on items not scheduled as public hearings on the agenda. Those wishing to make a comment provided staff with written comments.

There were no personal appearances.

## **CONSENT ITEMS**

- Approval of the March 10, 2020 City Council Meeting Minutes
- RESOLUTION – Interlocal Agreement with the Utah County Election Office for the purchase of the Election Ballot Boxes.

**Mr. Macdonald moved** to approve the Consent Agenda as listed. **Mr. Spencer seconded** the motion. Those voting aye: Richard F. Brunst, Jeff Lambson, Debby Lauret, Tom Macdonald, Terry Peterson, and Brent Sumner. The motion **passed**.

## **SCHEDULES ITEMS**

PUBLIC HEARING – Amending Section 14-3-3 Freestanding Signs: Pole & Monument (7) by clarifying language and Wall Signs of the Orem City Code by adding the PO zone as a permitted zone and amending the Sign Zone Map of the City of Orem by applying Sign Zone D to properties located generally at 825 East, 950 East, 1020 East, 1040 East, 1068 East, and 1145 East 800 North

Mr. Bench stated the first proposed amendment would provide that parcels that are not denoted with a specific sign zone and that are either (1) located in a commercial zone or (2) located in a residential zone, the primary use of which is a legal non-residential use shall be considered to be in Sign Zone D. This would apply primarily to churches and schools in residential zones. The language of the proposed amendment is shown in the agenda information. The second proposed amendment would update the sign code to allow wall signs in the PO zone. The language of this proposed amendment is also shown in the agenda information. The final proposed amendment

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would amend the Sign Zone Map of the City of Orem by applying Sign Zone D to properties located generally at 825 East, 950 East, 1020 East, 1040 East, 1068 East, and 1145 East 800 North. With recent commercial and office development along 800 North, applying Sign Zone D to the proposed properties would place them on the same footing with other commercial and office properties on the east end of 800 North with respect to signage.

**Mr. Spencer moved** to approve to approve amending Section 14-3-3 Freestanding Signs: Pole & Monument (7) by clarifying language and Wall Signs of the Orem City Code by adding the PO zone as a permitted zone and amending the Sign Zone Map of the City of Orem by applying Sign Zone D to properties located generally at 825 East, 950 East, 1020 East, 1040 East, 1068 East, and 1145 East 800 North as presented. **Mr. Peterson seconded** the motion. Those voting aye: Richard F. Brunst, Jeff Lambson, Debby Lauret, Tom Macdonald, Terry Peterson, and Brent Sumner. The motion **passed**

## CITY MANAGER INFORMATION ITEMS

Mr. Downs reviewed information regarding the preparations and concerns of the Orem City Celebration of Summerfest and the current pandemic limiting group events. He continued to state the Summerfest committee has identify some specific directions they would like to take, 1) cancel some of the Summerfest events that create large gatherings specifically the carnival and the parade. 2) look at the other parts of Summerfest that could be considered standalone events like the pool party, storytelling event the car show and many others that they could identify another time in late summer or fall to have some of those events, and 3) They would like to try and have the firework show around Labor Day. All these are subject to many things, but the committee would like to move in that direction.

Discussion ensued regarding alternative issues and concerns in relation to the Summerfest Celebration with coordination and availability with vendors and individuals.

Mr. Davidson stated the Summerfest discussion is just a small glimpse as to some of the changes made over the last couple of weeks due to the Covid-19 situation. He stated he was incredible proud of the staff, not just the way they have responded to the Covid-19 issue and the recent earthquake but also to how they have modified the way the city does business and provide services. He indicated we are encountering both those that appreciate our efforts and those that are frustrated and believe we have exceeded the necessary actions. He feels that on all fronts they have relied heavily on the employees to deal with a normal never experienced before and feels they are making progress on a number of fronts that are not directly tied to Covid-19 and are moving forward and address ongoing needs and concerns. He asked for the Councils continued patience and help as they navigate these uncharted waters. Again, he stated how incredibly proud and appreciative he is of the employees of Orem, the work they are doing, and the attitude they have in dealing with what is a first time for all of us and a challenging time. Based on prior conversations and direction the city had keep the parks open but tried to limit the activity in those areas. Due to residents not heading the recommendations they are in the process of taking down nets and locking those parks they can and are posting notices indicating the parks and facilities are now closed. The city buildings are now subject to a hard closure. This does not mean that services are not available from the city, we are just encouraging residents to use telephone, email or the city chat application to communicate and conduct business with the city. On occasion they will work with those that



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1 need to meet with our employees on an appointment basis. He anticipates the closers will be part  
2 of the operations for the next 15-30 days and then they will re-assess the situation while also  
3 continuing to take direction from the State and county government. He stated he meets with the  
4 Emergency Management Team at least 3 times a week to address any issues that come forward  
5 and continues to keep employees up to date. He concluded he feels the staff are continuing to do  
6 their best weathering this storm and feels they are coming out stronger and better.

7  
8 General discussion continued regarding public places and residents out and about and the cities  
9 responsibility to address this issue.

10  
11 Mayor Brunst voiced his thanks for all the staffs efforts, he feels the pandemic has made people  
12 tense and he sees employees putting extra efforts into keeping things moving forward. He  
13 continued to share some statistics regarding the amount of cases confirmed versus the number of  
14 deaths in Utah. He feels what they are doing as a city is helping with the slowing of the spread  
15 of the virus.

## 16 17 18 **ADJOURNMENT**

19  
20 **Mr. Lambson moved** to adjourn the meeting. **Mr. Sumner seconded** the motion. Those voting  
21 aye: Richard F. Brunst, Jeff Lambson, Debby Lauret, Tom Macdonald, Terry Peterson, and Brent  
22 Sumner. The motion **passed**.

23  
24  
25 The meeting adjourned at 6:56 p.m.



## City Council Agenda Item Report

Meeting Date: April 14, 2020

Submitted by: Greg Stephens

Submitting Department: Legal

Item Type: Resolution

Agenda Section:

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### Subject:

RESOLUTION - Authorizing the extension of the City Manager's March 16, 2020 Proclamation declaring a local emergency in the City of Orem

### Suggested Action:

The City Attorney recommends that the City Council, by resolution, authorize the extension of the City Manager's March 16, 2020 Proclamation declaring a local emergency in the City of Orem.

### Presenter:

### Background:

Utah law authorizes the City Manager to declare a local emergency to help save lives and protect property in response to a disaster, or to avoid or reduce the threat of a disaster. On March 16, 2020, the Orem City Manager issued a Proclamation Declaring a Local Emergency in the City of Orem to help the City respond to the COVID-19 pandemic. By law, the City Manager's initial declaration of emergency may only last for thirty days unless the City Council consents to an extension. Having an active declaration of emergency enables the City to apply for reimbursement of some of its COVID-19 response costs, provides a legal basis for requesting and obtaining mutual aid or disaster assistance from other governmental agencies, and enables the City to efficiently and proactively respond to the COVID-19 pandemic. The proposed resolution authorizes the extension of the March 16, 2020 Declaration of Emergency.

### Potentially Affected Area:

Citywide

### Attachments:

[RES--Extending Emergency 2020.docx](#)

[EXHIBIT A--Declaring a Local Emergency.Orem City.pdf](#)

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RESOLUTION NO. \_\_\_\_\_

## A RESOLUTION BY THE OREM CITY COUNCIL AUTHORIZING THE EXTENSION OF THE CITY MANAGER’S MARCH 16, 2020 PROCLAMATION DECLARING A LOCAL EMERGENCY IN THE CITY OF OREM.

WHEREAS, Utah Code Annotated Sections 53-2a-203(1)(a)(ii) and 53-2a-208(1)(a) and Orem City Code Section 11-5-3 authorize the Orem City Manager to proclaim a local emergency; and

WHEREAS, the Orem City Manager issued a Proclamation Declaring a Local Emergency in the City of Orem on March 16, 2020 (the “Proclamation of Local Emergency”); and

WHEREAS, a copy of the Proclamation of Local Emergency is attached hereto as Exhibit “A” and incorporated herein by reference; and

WHEREAS, the Orem City Manager issued the Proclamation of Local Emergency to help the City of Orem respond to the COVID-19 pandemic and the rapid spread of COVID-19; and

WHEREAS, Utah Code Annotated Section 53-2a-208(b) and Orem City Code Section 11-5-5 provide that the City Manager’s initial Proclamation of Local Emergency shall not be continued or renewed for a period in excess of 30 days except by or with consent of the Orem City Council; and

WHEREAS, the rapid spread of COVID-19 continues to be an emergency in the City of Orem; and

WHEREAS, since the issuance of the Proclamation of Local Emergency, Utah Governor Gary Herbert has issued several directives and orders related to COVID-19, including a “Stay Home, Stay Safe” directive dated March 27, 2020; and

WHEREAS, the Utah Department of Health recognizes COVID-19 as an imminent threat to the health and safety of the residents of Utah; and

WHEREAS, the global outbreak and threat of COVID-19 continues to constitute a condition which requires the City of Orem to provide emergency assistance to save lives and protect property in response to a disaster, or to avoid or reduce the threat of a disaster.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF OREM, UTAH, as follows:

1. The City Council finds that a local emergency continues to exist in the City of Orem due to the rapid spread of COVID-19 and that this local emergency threatens and could affect the entirety of the City of Orem.
2. The City Council authorizes the continued use of emergency powers in the City of Orem to respond to the COVID-19 pandemic.

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3. The City Council hereby authorizes the extension of the Orem City Manager's March 16, 2020 Proclamation of Local Emergency to enable the City of Orem to efficiently and proactively respond to the COVID-19 pandemic. The City Council's authorization to extend the Proclamation of Local Emergency shall continue until revoked by the City Council.
4. All ordinances, resolutions and policies in conflict herewith are hereby repealed.
5. This resolution shall take effect immediately upon passage.

PASSED AND APPROVED this **14<sup>th</sup>** day of **April** 2020.

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Richard F. Brunst, Jr., Mayor

ATTEST:

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JoD'Ann Bates, City Recorder

COUNCILMEMBER	AYE	NAY	ABSTAIN
Mayor Richard F. Brunst	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Jeff Lambson	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Debby Lauret	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Tom Macdonald	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Terry Peterson	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
David Spencer	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Brent Sumner	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Proclamation No. 2020-0001  
A PROCLAMTION DECLARING A LOCAL EMERGENCY IN THE CITY OF OREM

WHEREAS, Utah Code Annotated Sections 53-2a-203(1)(a)(ii) and 53-2a-208(1)(a) and Orem City Code Section 11-5-3 authorize the Orem City Manager to proclaim a local emergency; and

WHEREAS, on March 13, 2020 the President of the United States declared a national emergency to respond to the global outbreak of COVID-19; and

WHEREAS, on March 6, 2020 the Governor of the State of Utah issued an executive order declaring a state of emergency to respond to the evolving COVID-19 pandemic; and

WHEREAS, the Utah Department of Health recognizes COVID-19 as an imminent threat to the health and safety of the residents of Utah; and

WHEREAS, the mobilization of local resources, the ability to coordinate interagency response, the accelerated procurement of vital supplies, and the use of mutual aid will be critical in successfully responding to COVID-19; and

WHEREAS, the global outbreak and threat of COVID-19 constitutes a condition which requires the City of Orem to provide emergency assistance to save lives and protect property in response to a disaster, or to avoid or reduce the threat of a disaster.

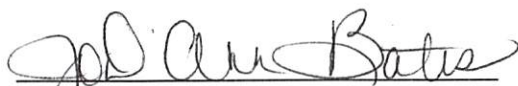
NOW, THEREFORE, IT IS HEREBY PROCLAIMED AND ORDERED by the City Manager of the City of Orem, Utah:

1. A local emergency exists in the City of Orem due to the rapid spread of COVID-19 and this local emergency threatens and could affect the entirety of the City of Orem.
2. The emergency powers and operations of the City of Orem are hereby invoked, and the City of Orem's personnel and resources are ordered and authorized to perform all functions authorized by federal, state and local law to address this local emergency.
3. The City of Orem is authorized to request the assistance of the State of Utah, the Federal Emergency Management Agency, and any other governmental or private resources necessary to address this emergency condition and is authorized to activate all applicable mutual aid agreements.
4. This proclamation takes effect immediately and will continue for thirty (30) days unless earlier terminated by the Orem City Manager or unless extended by consent of the Orem City Council.
5. This proclamation will be filed with the Orem City Recorder and the Utah County Clerk.

Date: March 16, 2020

  
James P. Davidson, City Manager

Attest:

  
JoD'Ann Bates  
City Recorder





## City Council Agenda Item Report

Meeting Date: April 14, 2020

Submitted by: Kena Mathews

Submitting Department: City Manager's Office

Item Type: Public Hearing

Agenda Section:

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### Subject:

PUBLIC HEARING - The City will receive public comment on the Community Development Block Grant (CDBG) Projected Use of Funds for Fiscal Year 2020-2021.

### Suggested Action:

The Community Services Manager recommends that the City Council hold the first of two public hearings to receive public comment on the projected uses of the funds for the 2020-2021 Community Development Block Grant and review recommendations of the CDBG Advisory Commission.

### Presenter:

Ken Ransom, Chairperson of the CDBG Advisory Commission and Kena Mathews, Community Services Manager

### Background:

During March 2020, the Orem CDBG and Joint CDBG Commissions reviewed and heard funding proposals from community organizations and others who wish to receive CDBG funding for Fiscal Year 2020-2021. The Commission will present its and the Joint Commission's recommendations before the City Council then the public hearing will be opened for comment on the proposed use of funds. The public hearing will be the first of two opportunities for public comment on the recommendations before the City Council officially adopts the Final Statement of Projected Uses of Funds for Orem's 2020-2021 Community Development Block Grant. Following the second public hearing to be held May 26, 2020, the City Council will adopt a resolution approving the CDBG Final Statement of Projected Uses of Funds for 2020-2021. Public Services Recommendations: \$5,000 Orem Police Mental Health Response Team, \$5,000 Kids on the Move, Rocky Mountain University Foundation \$20,000, RAH \$45,000. Non Public Services Recommendations: Neighborhood Housing Services of Provo \$100,000, City of Orem Critical Home Repair and Home Rehab Program \$100,000, City of Orem CDBG Administration \$130,000, City of Orem Section 8 Loan Repayment \$88,000, City of Orem Neighborhood Revitalization \$15,950, City of Orem Code Enforcement \$155,000, City of Orem Eligible Park Project \$40,813, City of Orem, United Way of Utah County \$43,867, Wasatch Mental Health \$51,670.

### Potentially Affected Area:

Citywide

### Attachments:

[FY20 recommendations DeLora first pass 3.16.20.xlsx](#)

CDBG Public Service Capital Needs

Project	Total Project Cost	Committee Recommendation	Utah C. Cost	Provo Cost	Orem Cost	Total	% Clients Utah C.	% Clients Provo	% Clients Orem	% Clients Other
Kids on the Move	\$ 9,392,553	\$ 5,000	\$ -	\$ -	\$ 5,000	\$ 5,000	68%	9%	20%	3%
RMUoHPF: Physical Therapy	\$ 275,343	\$ 20,000	\$ -	\$ -	\$ 20,000	\$ 20,000	30%	35%	33%	2%
RAH	\$ 198,250	\$ 45,000	\$ -	\$ -	\$ 45,000	\$ 45,000	44%	20%	28%	8%
CASFB: Housing Services	\$ 487,000	\$ 5,000	\$ -	\$ 5,000	\$ -	\$ 5,000	17%	59%	10%	14%
CAFSB: Circles	\$ 337,979	\$ 10,300	\$ -	\$ 10,300	\$ -	\$ 10,300	27%	47%	25%	0%
Community Health Connect	\$ 150,000	\$ 11,000	\$ -	\$ 11,000	\$ -	\$ 11,000	28%	33%	33%	6%
Project Read	\$ 44,000	\$ 15,498	\$ -	\$ 15,498	\$ -	\$ 15,498	25%	50%	25%	0%
Food and Care	\$ 750,000	\$ 20,000	\$ -	\$ 20,000	\$ -	\$ 20,000	18%	68%	10%	5%
Boys & Girls Club	\$ 300,000	\$ 26,700	\$ -	\$ 26,700	\$ -	\$ 26,700	25%	38%	38%	0%
Share a Smile	\$ 17,500	\$ 10,000	\$ 1,250	\$ 8,750	\$ -	\$ 10,000	20%	50%	20%	10%
UCCJC	\$ 107,000	\$ 60,000	\$ 43,782	\$ 16,218	\$ -	\$ 60,000	50%	19%	19%	13%
Mountainlands Community Health Center	\$ 50,000	\$ 50,000	\$ 13,246	\$ 36,754	\$ -	\$ 50,000	28%	31%	21%	19%
Big Brothers Big Sisters of Utah	\$ 100,500	\$ 10,000	\$ 10,000	\$ -	\$ -	\$ 10,000	55%	16%	23%	6%
Family Support and Treatment Center	\$ 550,000	\$ 20,000	\$ 20,000	\$ -	\$ -	\$ 20,000	44%	18%	27%	11%
Neighborhood Housing Services	\$ 399,500	\$ 25,000	\$ 25,000	\$ -	\$ -	\$ 25,000	48%	27%	21%	5%
Center for Women and Children in Crisis	\$ 435,754	\$ 30,000	\$ 30,000	\$ -	\$ -	\$ 30,000	21%	27%	27%	25%
United Way: Capital	\$ 207,000	\$ 207,000	\$ 61,326	\$ 94,917	\$ 43,867	\$ 200,110	30%	46%	21%	3%
WMH: Capital	\$ 2,500,000	\$ 250,557	\$ 109,258	\$ 89,629	\$ 51,670	\$ 250,557	41%	34%	19%	6%
		\$ 363,498	\$ 313,862	\$ 334,766	\$ 165,537	\$ 814,165				
			-\$32	\$0	\$34					
			\$313,830	\$334,766	\$165,571					



Project	Target Start Date	Total Cost	% Clients Utah C.	% Clients Provo	% Clients Orem	% Clients Other	% Clients LMI
RAH							
Improve energy efficient	2019	\$75,000	52%	19%	24%	5%	100%
Building and property security	2020	\$25,000					
Electrical and plumbing update	2020	\$30,000					
Improve landscaping	2020	\$40,000					
Building remodel and expansion	2021	\$150,000					



## City Council Agenda Item Report

Meeting Date: April 14, 2020

Submitted by: Cheryl Vargas

Submitting Department: Development Services

Item Type: Public Hearing

Agenda Section:

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### Subject:

PUBLIC HEARING - Amending Section 22-6-9(G)(2) Private Schools and Commercial Day Care Services by clarifying language.

### Suggested Action:

The Planning Commission recommends the City Council, by ordinance, amend Section 22-6-9(G)(2) Private Schools and Commercial Day Care Services of the Orem City Code pertaining to proximity of commercial day care services in a residential zone.

### Presenter:

Jason Bench

### Background:

The language change would amend Section 22-6-9(G)(2) Private Schools and Commercial Day Care Services to clarify that two commercial day cares could not be within two thousand six hundred forty (2,640) feet of each other in a residential zone, but a commercial day care in a residential zone could be within two thousand six hundred forty (2,640) of another commercial day care if located in a commercial zone.

### Potentially Affected Area:

Citywide

### Attachments:

[Agenda-CommercialDayCare-SeparationRequirement.docx](#)

[Resolution-CommercialDayCare-SeparationRequirement.docx](#)

[Ordinance-CommercialDayCare-SeparationRequirement.docx](#)

[DRC Application.pdf](#)

[Section 22-6-9\(G\)\(2\) Day Care Services PC Minutes 3.18.2020.docx](#)

**CITY OF OREM**  
**CITY COUNCIL MEETING**  
**APRIL 14, 2020**



<b>REQUEST:</b>	<b>ORDINANCE</b> - Amending Section 22-6-9(G)(2)( <i>Private Schools and Commercial Day Care Services</i> ) of the Orem City Code regarding separation requirements for commercial day care services.
<b>APPLICANT:</b>	Development Services
<b>FISCAL IMPACT:</b>	None

**NOTICES:**

- Posted in 2 public places
- Posted on City webpage and City hotline
- Faxed to newspapers
- E-mailed to newspapers
- Posted at [utah.gov/pm](http://utah.gov/pm)

**SITE INFORMATION:**

General Plan Designation:  
**N/A**

Current Zone(s):  
**Citywide**

**PLANNING COMMISSION  
RECOMMENDATION**

Vote: 7-0 for approval

**PREPARED BY:**  
Cheryl Vargas  
Orem City Associate  
Planner

**REQUEST:** The Department of Development Services requests the City Council amend Section 22-6-9(G)(2)(*Private Schools and Commercial Day Care Services*) of the Orem City Code regarding separation requirements for commercial day care services.

**BACKGROUND:** The current ordinance provides that a commercial day care must be separated from another commercial day care by at least 2,640 feet. The current language does not distinguish between commercial day cares located in a commercial zone versus those located in a residential zone. Staff believe that the intent of the separation requirement is prevent concentration of such facilities in residential zones, but not necessarily to separate such uses that are in commercial zones.

Staff therefore propose to amend Section 22-6-9(G)(2)(*Private Schools and Commercial Day Care Services*) to clarify that the separation requirement only applies to commercial day cares that are located in a residential zone. Under the proposed amendment, there would be no separation requirement from a commercial day care that is located in a commercial zone. With this change, a commercial day care in a residential zone could be within two thousand six hundred forty (2,640) of another commercial day care that is located in a commercial zone.

The language of the proposed amendment is shown below:

**Section 22-6-9(G)(2)**

G. Private Schools and Commercial Day Care Services (SLU Codes 6261 and 6262). Private Schools and Commercial Day Care Services are Commercial Day Care Services are defined to include (1) Commercial Child Day Care Facilities, and (2) Commercial Adult Day Care Facilities. Commercial Day Care Services shall be allowed in residential zones only upon the issuance of a conditional use permit and must, at a minimum, meet the following requirements:

1. In residential zones, Commercial Day Care Services shall only be allowed on properties adjacent to either a collector or an arterial street.

2. A Commercial Day Care facility **in a residential zone** shall not be established within two thousand six hundred and forty feet (2640') of another Private School or Commercial Day

Care facility **that is located in a residential zone.**

**RECOMMENDATION:** The Planning Commission recommends the City Council, by ordinance, amend Section 22-6-9(G)(2)(*Private Schools and Commercial Day Care Services*) of the Orem City Code pertaining to proximity of commercial day care services in a residential zone as shown above.

ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE BY THE OREM CITY COUNCIL AMENDING  
SECTION 22-6-9(G)(2)(*PRIVATE SCHOOLS AND COMMERCIAL DAY  
CARE SERVICES*) OF THE OREM CITY CODE REGARDING  
SEPARATION REQUIREMENTS FOR COMMERCIAL DAY CARE  
SERVICES

WHEREAS on February 25, 2020, the Development Services Department filed an application to amend Section 22-6-9(G)(2)(*Private Schools and Commercial Day Care Services*) of the Orem City Code regarding separation requirements for commercial day care services; and

WHEREAS a public hearing considering the subject application was held by the Planning Commission on March 18, 2020, and the Planning Commission recommended that the City Council approve the application; and

WHEREAS a public hearing considering the subject application was held by the City Council on April 14, 2020; and

WHEREAS the agenda of the Planning Commission meeting and the City Council meeting at which the request was heard were posted in the Orem Public Library, the Orem City Webpage, and the City Offices at 56 N State Street; and

WHEREAS the matter having been submitted and the City Council having fully considered the request as it relates to the health, safety and general welfare of the City; the orderly development of land in the City; the effect upon surrounding neighborhoods; and the special conditions applicable to the request.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF OREM, UTAH, as follows:

1. The City Council finds that it is in the best interest of the City to amend Section 22-6-9(G)(2) (*Private Schools and Commercial Day Care Services*) as proposed and shown in Exhibit A because the intent of the separation requirement is to prevent the concentration of such uses in residential zones and not necessarily in commercial zones.
2. The City Council hereby amends Section 22-6-9(G)(2)(*Private Schools and Commercial Day Care Services*) as shown on Exhibit "A" which is attached hereto and incorporated herein by reference.
3. If any part of this ordinance shall be declared invalid, such decision shall not affect the validity of the remainder of this ordinance.

4. This ordinance shall take effect immediately upon passage and publication in a newspaper of general circulation in the City of Orem.

PASSED, APPROVED and ORDERED PUBLISHED this **14<sup>h</sup>** day of **March** 2020.

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Richard F. Brunst, Jr., Mayor

ATTEST:

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JoD'Ann Bates, City Recorder

COUNCILMEMBER	AYE	NAY	ABSTAIN
Mayor Richard F. Brunst	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Jeff Lambson	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Debby Lauret	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Tom Macdonald	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Terry Peterson	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
David Spencer	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Brent Sumner	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

## EXHIBIT A

### Section 22-6-9(G)(2)

G. Private Schools and Commercial Day Care Services (SLU Codes 6261 and 6262). Private Schools and Commercial Day Care Services are Commercial Day Care Services are defined to include (1) Commercial Child Day Care Facilities, and (2) Commercial Adult Day Care Facilities. Commercial Day Care Services shall be allowed in residential zones only upon the issuance of a conditional use permit and must, at a minimum, meet the following requirements:

1. In residential zones, Commercial Day Care Services shall only be allowed on properties adjacent to either a collector or an arterial street.
2. A Commercial Day Care facility **in a residential zone** shall not be established within two thousand six hundred and forty feet (2640') of another Private School or Commercial Day Care facility **that is located in a residential zone.**

Section 22-6-9(G)(2)

G. Private Schools and Commercial Day Care Services (SLU Codes 6261 and 6262). Private Schools and Commercial Day Care Services are Commercial Day Care Services are defined to include (1) Commercial Child Day Care Facilities, and (2) Commercial Adult Day Care Facilities. Commercial Day Care Services shall be allowed in residential zones only upon the issuance of a conditional use permit and must, at a minimum, meet the following requirements:

1. In residential zones, Commercial Day Care Services shall only be allowed on properties adjacent to either a collector or an arterial street.

2. A Commercial Day Care facility **in a residential zone** shall not be established within two thousand six hundred and forty feet (2640') of another Private School or Commercial Day Care facility **that is located in a residential zone.**





# Orem City Development Review Committee (DRC) Application Subdivision/Site Plan

Development Services Department 56 North State Street, Orem, Utah (801) 229-7183 [www.orem.org](http://www.orem.org)

Applicant Information			
Name:	Development Services	Phone:	801-229-7183
Address:	56 N. State Street	Email:	Chvargas@orem.org
City:	Orem	State:	UT
		Zip:	84057
Project Information			
Project Name	Commercial Day Care Services - 22-6-9(G)(2)		
Project Address	city-wide		
Request	Fees	Total	
Site Plan*	\$1,934+\$689 in PD 1, 4, 5,15 ,16, 21 or adjacent residential zone		
Site Plan, Administrative*	\$644		
Preliminary Plat*	\$1388 + \$143 lot/unit		
Final Plat*	\$943+ \$122 lot/unit + recording fees		
Preliminary PRD*	\$1873 + 193 lot/unit		
Final Plat PRD*	\$917 + \$162 lot/unit + recording fees		
Vacation/Amendment	\$856 + \$206 lot/unit + recording fees		
Lot Line Adjustment	\$856 + \$206 lot/unit		
Conversion to Condominium	\$1032 + \$86/unit, \$689 sign fee, \$30/unit inspection		
Neighborhood Notice	TBD at time of submittal, if needed		
Public Notice	\$100 each for PC and CC, if needed		
Resubmittal Fee	\$542 after three reviews		
Long-Term Storm Mgmt. Plan Review	\$230.00 (Over 1 acre & up to four reviews) (Less than 1 acre, fee to be determined)		
Total			
Required Copies			
Two (2) full-size copies no larger than 24" x 36", one (1) 11" x 17" and a PDF and/or Word of all applicable drawings and plans. Files can be emailed to Cheryl Vargas at <a href="mailto:chvargas@orem.org">chvargas@orem.org</a> or submitted on disc/flash drive prior to the deadline.			
General Notes, Signature, and Contact Person			
<p><b>Deadline.</b> The deadline for filing a DRC application is at Monday noon for first review the following Thursday. In the case of a Monday holiday, the deadline is Tuesday at noon. Contact information to inquire about the status of an application: 801.229.7183</p> <p><b>Filing Fee Notice.</b> Applications filed after July 1 are subject to fee changes regardless of the fee listed on the application used at the time of submittal.</p> <p><b>*DRC Application.</b> The DRC application must be complete at the time of submittal or it may not be accepted. An application for preliminary plat, final plat and site plan approval shall expire if the application has not been approved or scheduled for review and approval by the approving authority within twelve months after the date it was submitted. The application shall also expire immediately following the passage of six months of no activity with respect to the application. Upon expiration, an application shall be considered null and void and a new application must be submitted, and fees paid. (17-4- 2; 17-5-1; 22-14-20(E)(1))</p> <p><b>Neighborhood Meeting.</b> The applicant shall hold a neighborhood meeting in accordance with City Code for the following requests: General Plan amendments, Zoning Ordinance amendments, commercial developments adjacent to a residential zone, all non-residential uses in a residential zone.</p> <p><b>Planning Commission/City Council Meetings.</b> Once the Development Review Committee determines your application is complete and complies with all applicable City ordinances, it shall be forwarded to the Planning Commission if required, and City Council, if required. The City Council is the final approving authority of conditional use permits, appeals, City Code amendments, General Plan amendments, fence modifications, and site plans in the following zones: PD-1, PD-4, PD-5, PD-15, PD-16, and PD-21.</p>			
<b>Applicant's Signature:</b> <i>Cheryl Vargas</i>			
<b>Contact Person:</b>	<i>Cheryl Vargas</i>	<b>Phone:</b>	<i>801-229-7183</i>
		<b>Email:</b>	<i>Chvargas@orem.org</i>
Office Use Only			
<b>Date Filed:</b>	<b>Fees Paid:</b>	<b>Received By:</b>	<b>Receipt #:</b>
			6 January 2020

Planning Commission Minutes – March 18, 2020

**Agenda Item 3.5** is a request by Development Services for the City to amend Section 22-6-9(G)(2) *Private Schools and Commercial Day Care Services* of the Orem City Code pertaining to proximity of commercial day care services in a residential zone.

**Staff Presentation:** The language change would amend Section 22-6-9(G)(2) *Private Schools and Commercial Day Care Services* to clarify that two commercial day cares could not be within two thousand six hundred forty (2,640) feet of each other in a residential zone, but a commercial day care in a residential zone could be within two thousand six hundred forty (2,640) of another commercial day care in a commercial zone.

G. Private Schools and Commercial Day Care Services (SLU Codes 6261 and 6262). Private Schools and Commercial Day Care Services are Commercial Day Care Services are defined to include (1) Commercial Child Day Care Facilities, and (2) Commercial Adult Day Care Facilities. Commercial Day Care Services shall be allowed in residential zones only upon the issuance of a conditional use permit and must, at a minimum, meet the following requirements:

1. In residential zones, Commercial Day Care Services shall only be allowed on properties adjacent to either a collector or an arterial street.

2. A commercial Day Care facility shall not be established within two thousand six hundred and forty feet (2640') of another Private School or Commercial Day Care facility that is located in a residential zone.

**Recommendation:** The Development Review Committee determined this request complies with the Orem City Code. Staff recommends the Planning Commission forward a positive recommendation to the City Council by amending Section 22-6-9(G)(2) *Private Schools and Commercial Day Care Services* of the Orem City Code pertaining to proximity of commercial day care services in a residential zone.

Chair Cochran asked if the Planning Commission had any questions for Mr. Bench. Mr. Cochran asked if in residential communities where you have two day care centers in residences, approved and licensed, if they are juxtaposed one to another how does this affect them. Mr. Bench said these are commercial day cares in a residential zone. Day cares located in a home are limited to the number of children they can have. A commercial day care creates more traffic/business which is why the need for separation, which is a different situation with these commercial day cares.

Mr. Cook asked if there can be a commercial day care in a residential zone. Mr. Bench said yes, there can be, but there are about twelve requirements that are a part of that. It has to be located on a collector or arterial street that allows more traffic, has to have the separation because they will have more business, and as long as they meet all the criteria they can be located in a residential zone. They do have to go through the process to be approved.

Chair Cochran opened the public hearing and invited those from the audience who had come to speak to this item to come forward to the microphone and asked if any electronic comments had been received.

Titus McKenzie, participating electronically, said he supports these changes.

Chair Cochran closed the public hearing and asked if the Planning Commission had any more questions for the applicant or staff. When none did, he called for a motion on this item.

**Planning Commission Action:** Mr. Staker moved to forward a positive recommendation to the City Council by amending Section 22-6-9(G)(2) *Private Schools and Commercial Day Care Services* of the Orem City Code pertaining to proximity of commercial day care services in a residential zone. Mr. Cochran seconded the motion. Those voting aye: Mickey Cochran, Carl Cook, Camille Jensen, Barry Roberts, Haysam Sakar, Ross Spencer and Mike Staker. The motion passed unanimously.



## City Council Agenda Item Report

Meeting Date: April 14, 2020

Submitted by: Jason Bench

Submitting Department: Development Services

Item Type: Ordinance

Agenda Section:

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### Subject:

PUBLIC HEARING – The applicant (The Church of Jesus Christ of Latter-Day Saints) request the city enact Section 22-11-63 PD-50 (Orem Utah Temple – 1465 South Geneva Road) Zone, and Appendix “XX” of the Orem City Code, and amend Article 22-5-3(A) and the zoning map of the City of Orem by changing the zone on approximately 15.39 acres from the OS5 zone to the PD-50 zone at 1465 South Geneva Road.

### Suggested Action:

The Planning Commission recommends the City Council, by ordinance, enact Section 22-11-63 (PD-50 Zone (Orem Utah Temple) – 1465 South Geneva Road) and Appendix “XX” of the Orem City Code, and amend Article 22-5-3(A) and the zoning map of the City of Orem by changing the zone on approximately 15.39 acres from the OS5 zone to the PD-50 zone at 1465 South Geneva Road.

### Presenter:

Jason Bench

### Background:

The purpose of the proposed PD-50 zone is to allow the development of a temple site and a church building. The proposed zone is designed to be applied only to a parcel of property located at approximately 1465 South Geneva Road. No other use except churches, synagogues, and temples would be permitted in the proposed zone.

Development on the parcel would be required to conform to the standards outlined in the text of the PD-50 zone as well as the concept plan and exhibits included in Appendix XX.

The height of the proposed temple structure is approximately 70 feet to the top of the main structure and 218 feet, 6 inches to the top of the central spire.

The number of parking stalls required for the proposed zone is based on the City’s existing standards for churches, synagogues and temples as outlined in Article 22-15 of the City Code which requires one parking stall for every four fixed seats. The proposed temple will have 722 fixed seats and the church building will have 802 fixed seats. Application of the parking standard for churches and temples therefore requires a total of 381 parking stalls. The concept plan for the site shows a total of 520 stalls with the possibility of adding another 136 stalls if needed in the future.

### Potentially Affected Area:

Lakeview

**Attachments:**

[Agenda-PD50-LDSTemple.docx](#)

[Location Map\\_Temple.pdf](#)

[Concept Plan.pdf](#)

[Elevations Orem Utah Temple.pdf](#)

[PD-50 Text-LDSTemple \(1\).doc](#)

[Appendix XX.docx](#)

[Neighborhood meeting minutes\\_Orem Utah Temple.pdf](#)

[20200401\\_1\\_MailerFront\\_CC Notice.pdf](#)

[20200401\\_1\\_MailerBack\\_CC Notice.pdf](#)

[Mailing\\_Labels\\_CC Notice.docx](#)

[DRC Application\\_Rezone - Orem Utah Temple - 3.12.2020.pdf](#)

[Resolution-PD50-LDSTemple.docx](#)

[Planning Commission Minutes\\_Orem Utah Temple\\_Draft 4.1.2020.docx](#)

**CITY OF OREM**  
**CITY COUNCIL MEETING**  
**APRIL 14, 2020**



<b>REQUEST:</b>	<b>ORDINANCE</b> – Enacting Section 22-11-63 ( <i>PD-50 Zone (Orem Utah Temple) – 1465 South Geneva Road</i> ) and Appendix “XX” of the Orem City Code and amending Article 22-5-3(A) and the zoning map of the City of Orem by changing the zone on approximately 15.39 acres at 1465 South Geneva Road from the OS5 zone to the PD-50 zone.
<b>APPLICANT:</b>	Tom Heath, agent (The Church of Jesus Christ of Latter-Day Saints)
<b>FISCAL IMPACT:</b>	None

**NOTICES:**

- Posted in 2 public places
- Posted on City webpage and City hotline
- Faxed to newspapers
- E-mailed to newspapers
- Mailed 348 notices to property owners within 500 feet.
- Posted at [utah.gov/pa](http://utah.gov/pa)

**SITE INFORMATION:**

- General Plan Designation: RDR (Rural Density Residential)
- Current Zone: OS5
- Acreage: 15.39
- Neighborhood: Lakeview

**PLANNING COMMISSION  
RECOMMENDATION**

Vote: 7-0 for approval

**PREPARED BY:**

Jason Bench, AICP  
Planning Division  
Manager

**REQUEST:** The applicant requests the City Council enact the PD-50 zone and Appendix XX and rezone the property located generally at 1465 South Geneva Road from the OS5 zone to the proposed PD-50 zone.

**BACKGROUND:** The purpose of the proposed PD-50 zone is to allow the development of a temple site and a church building. The proposed zone is designed to be applied only to a parcel of property located at approximately 1465 South Geneva Road. No other use except churches, synagogues, and temples would be permitted in the proposed zone.

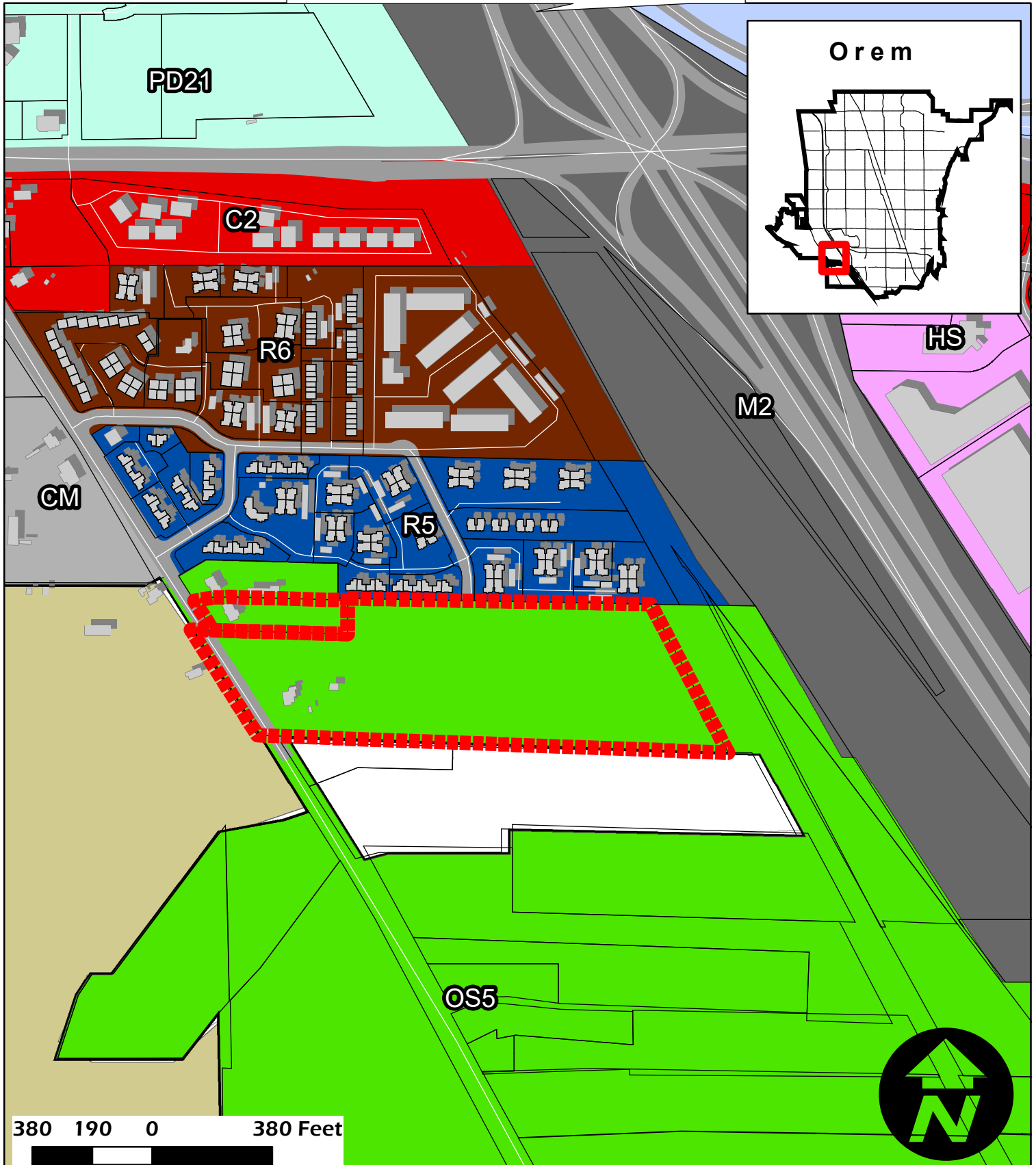
Development on the parcel would be required to conform to the standards outlined in the text of the PD-50 zone as well as the concept plan and exhibits included in Appendix XX.

The height of the proposed temple structure is approximately 70 feet to the top of the main structure and 218 feet, 6 inches to the top of the central spire.

The number of parking stalls required for the proposed zone is based on the City’s existing standards for churches, synagogues and temples as outlined in Article 22-15 of the City Code which requires one parking stall for every four fixed seats. The proposed temple will have 722 fixed seats and the church building will have 802 fixed seats. Application of the parking standard for churches and temples therefore requires a total of 381 parking stalls. The concept plan for the site shows a total of 520 stalls with the possibility of adding another 136 stalls if needed in the future.

**RECOMMENDATION:** The Planning Commission recommends the City Council, by ordinance, enact Section 22-11-63 (*PD-50 Zone (Orem Utah Temple) – 1465 South Geneva Road*) and Appendix “XX” of the Orem City Code and amend Article 22-5-3(A) and the zoning map of the City of Orem by changing the zone on approximately 15.39 acres at 1465 South Geneva Road from the OS5 zone to the PD-50 zone.

# Orem Utah Temple

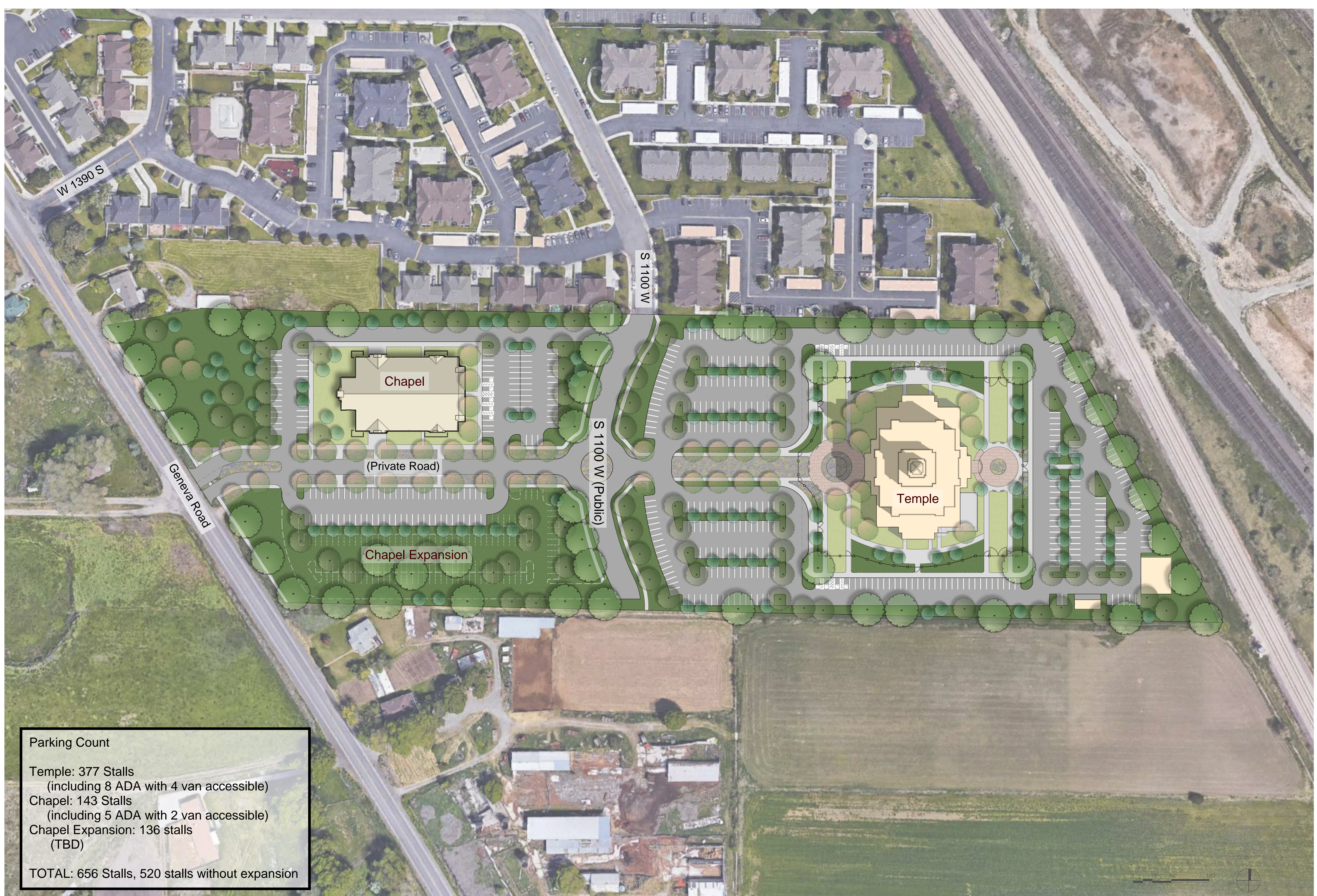


◆ Orem Utah Temple  
OS5 Zone  
15.39 acres

NEIGHBORHOOD  
Lakeview

Legend  
 Parcels selection  
 Parcels  
 Buildings





#### Parking Count

Temple: 377 Stalls  
(including 8 ADA with 4 van accessible)  
Chapel: 143 Stalls  
(including 5 ADA with 2 van accessible)  
Chapel Expansion: 136 stalls  
(TBD)

TOTAL: 656 Stalls, 520 stalls without expansion





# APPROXIMATE FENESTRATION CALCULATIONS

**WEST FACADE:**

LEVEL 1 PRECAST/MASONRY: 4988 SQ. FT.  
LEVEL 1 GLAZING: 423 SQ. FT.

L2-L3 PRECAST/MASONRY: 6468 SQ. FT.  
L2-L3 GLAZING: 814 SQ. FT.

TOWER: 2813 SQ. FT.  
TOWER GLAZING: 140 SQ. FT.

**SOUTH FACADE:**

LEVEL 1 PRECAST/MASONRY: 3788 SQ. FT.  
LEVEL 1 GLAZING: 347 SQ. FT.

L2-L3 PRECAST/MASONRY: 6827 SQ. FT.  
L2-L3 GLAZING: 465 SQ. FT.

TOWER: 2813 SQ. FT.  
TOWER GLAZING: 140 SQ. FT.

**EAST FACADE:**

LEVEL 1 PRECAST/MASONRY: 5062 SQ. FT.  
LEVEL 1 GLAZING: 349 SQ. FT.

L2-L3 PRECAST/MASONRY: 6468 SQ. FT.  
L2-L3 GLAZING: 814 SQ. FT.

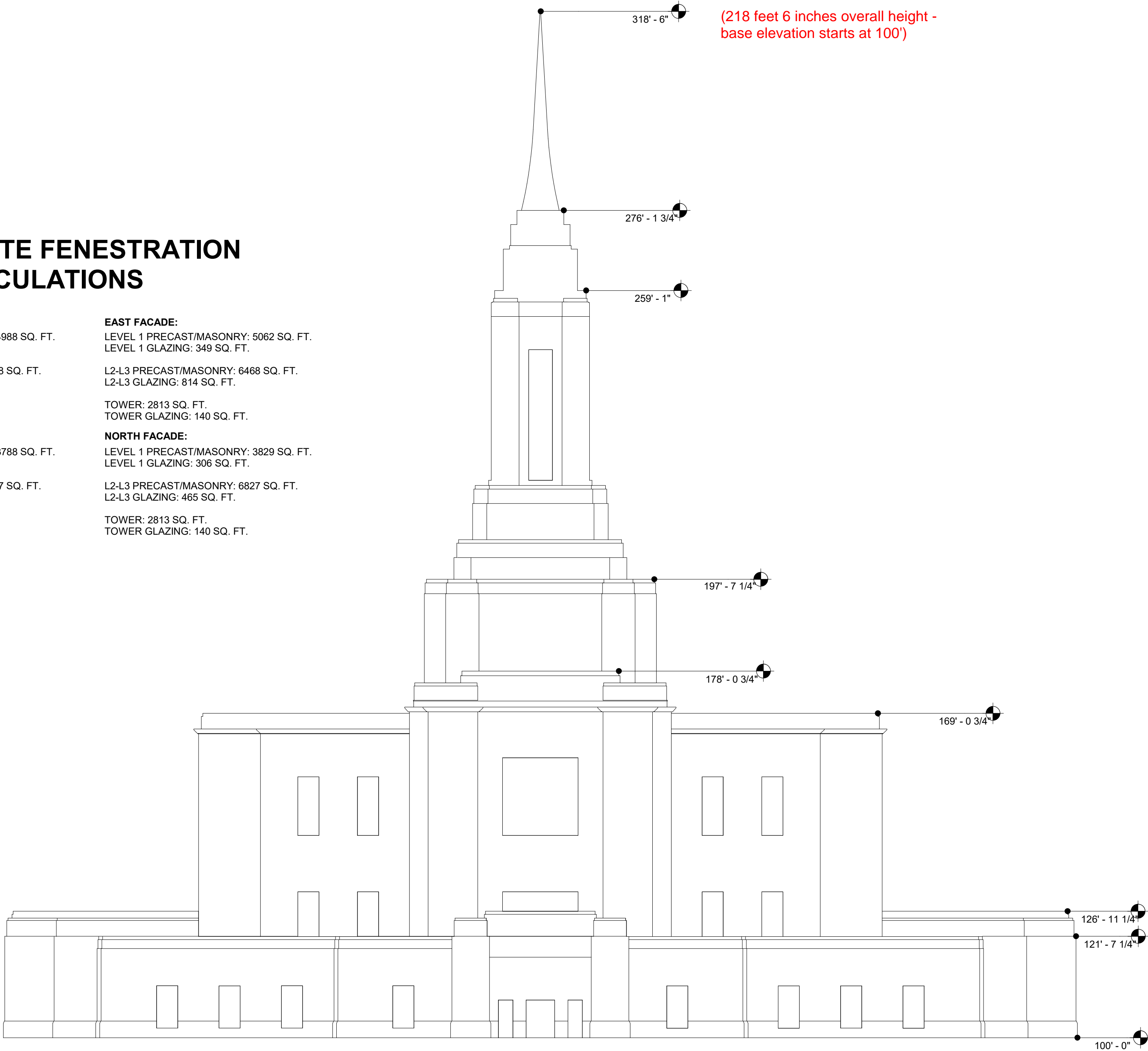
TOWER: 2813 SQ. FT.  
TOWER GLAZING: 140 SQ. FT.

**NORTH FACADE:**

LEVEL 1 PRECAST/MASONRY: 3829 SQ. FT.  
LEVEL 1 GLAZING: 306 SQ. FT.

L2-L3 PRECAST/MASONRY: 6827 SQ. FT.  
L2-L3 GLAZING: 465 SQ. FT.

TOWER: 2813 SQ. FT.  
TOWER GLAZING: 140 SQ. FT.





# APPROXIMATE FENESTRATION CALCULATIONS

**WEST FACADE:**

LEVEL 1 PRECAST/MASONRY: 4988 SQ. FT.  
LEVEL 1 GLAZING: 423 SQ. FT.

L2-L3 PRECAST/MASONRY: 6468 SQ. FT.  
L2-L3 GLAZING: 814 SQ. FT.

TOWER: 2813 SQ. FT.  
TOWER GLAZING: 140 SQ. FT.

**SOUTH FACADE:**

LEVEL 1 PRECAST/MASONRY: 3788 SQ. FT.  
LEVEL 1 GLAZING: 347 SQ. FT.

L2-L3 PRECAST/MASONRY: 6827 SQ. FT.  
L2-L3 GLAZING: 465 SQ. FT.

TOWER: 2813 SQ. FT.  
TOWER GLAZING: 140 SQ. FT.

**EAST FACADE:**

LEVEL 1 PRECAST/MASONRY: 5062 SQ. FT.  
LEVEL 1 GLAZING: 349 SQ. FT.

L2-L3 PRECAST/MASONRY: 6468 SQ. FT.  
L2-L3 GLAZING: 814 SQ. FT.

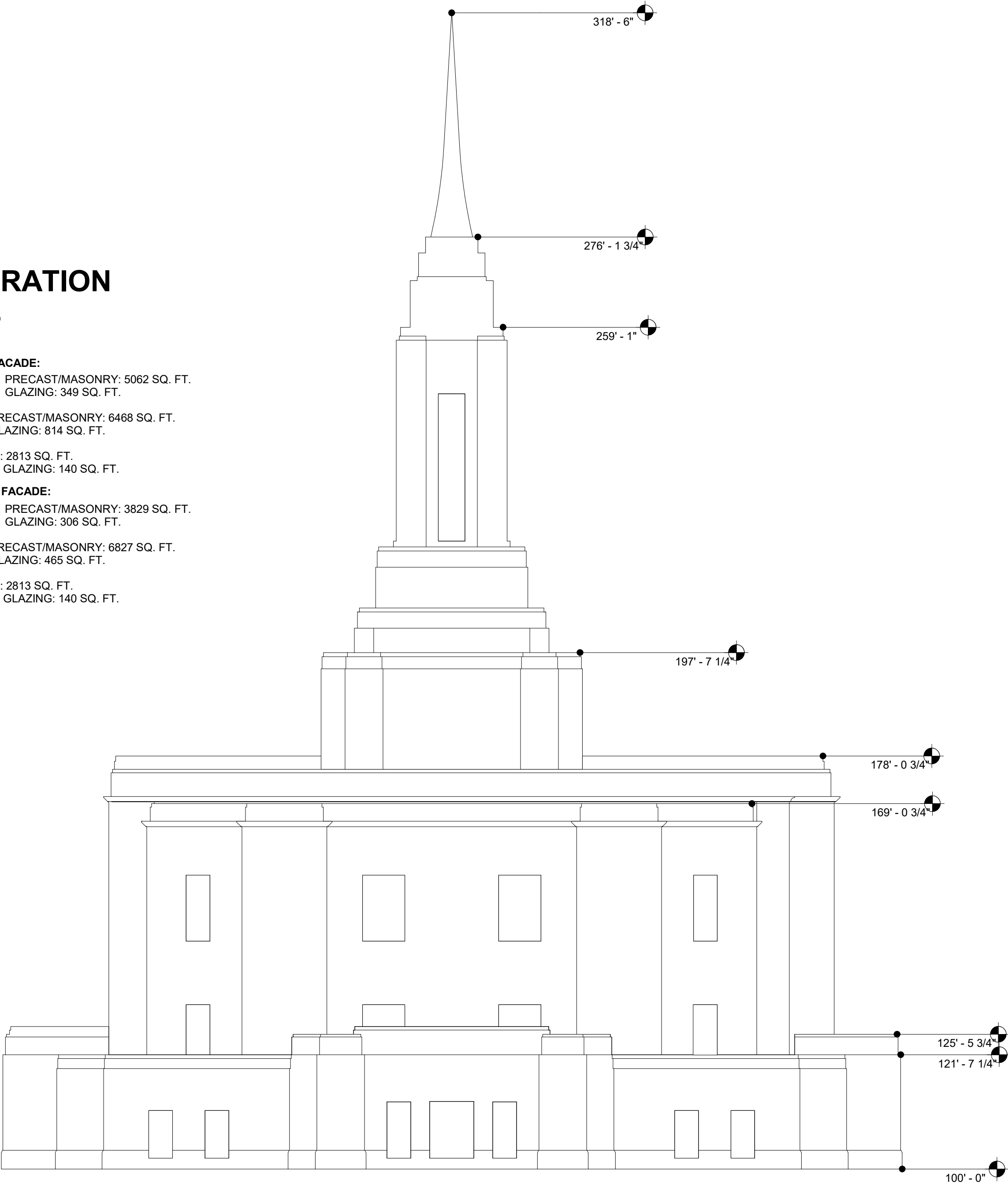
TOWER: 2813 SQ. FT.  
TOWER GLAZING: 140 SQ. FT.

**NORTH FACADE:**

LEVEL 1 PRECAST/MASONRY: 3829 SQ. FT.  
LEVEL 1 GLAZING: 306 SQ. FT.

L2-L3 PRECAST/MASONRY: 6827 SQ. FT.  
L2-L3 GLAZING: 465 SQ. FT.

TOWER: 2813 SQ. FT.  
TOWER GLAZING: 140 SQ. FT.



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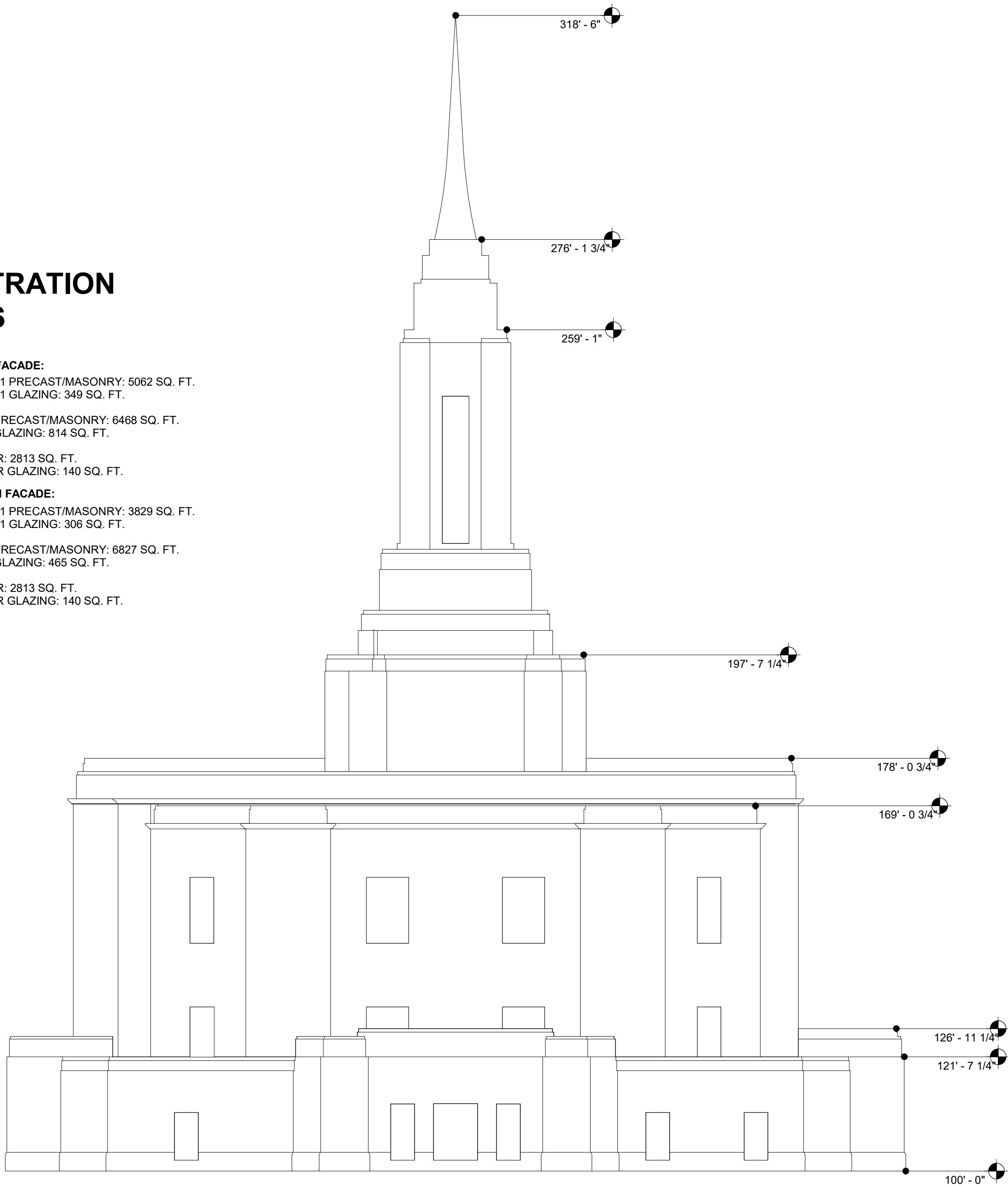
TOWER: 2813 SQ. FT.  
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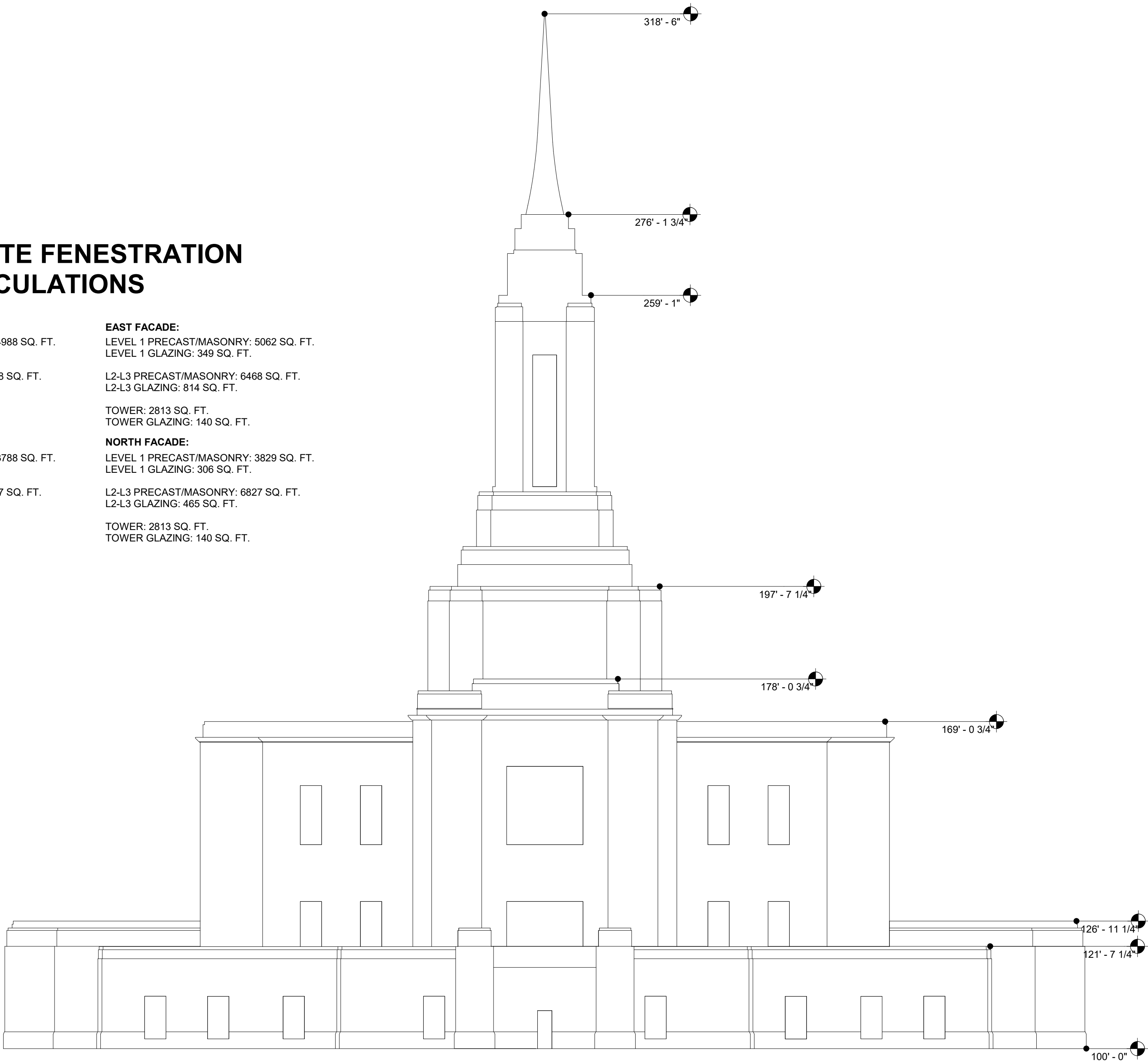
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L2-L3 GLAZING: 465 SQ. FT.

TOWER: 2813 SQ. FT.  
TOWER GLAZING: 140 SQ. FT.



## **22-11-45. PD-50 Zone (Orem Utah Temple) – 1465 South Geneva Road**

**A. Purpose.** The purpose of the PD-50 zone is to allow development of a temple site and church building. The PD-50 zone is designed to be applied only to a parcel of property located at approximately 1465 South Geneva Road as shown in Appendix “XX.”

**B. Concept Plan.** Property in the PD-50 zone shall be developed in conformance with the concept plan included as Appendix “XX” of the Orem City Code which is incorporated herein by reference and made a part hereof.

**C. Permitted Uses.** Churches, synagogues and temples (SLU 6911) are permitted in the PD-50 zone. All other uses are prohibited.

**D. Final Plat.** A final plat that conforms to all development standards and requirements of Chapter 17 must be approved and recorded by the City prior to any development in the PD-50 zone.

**E. Site Plan.** All development standards and site plan requirements of Section 22-14-20 shall apply to any development in the PD-50 zone. All public improvements shown on an approved site plan or amended site plan shall be completed within two (2) years of the date of approval of the site plan or recording of the final plat, whichever is later. If the improvements are not completed within the time specified, the City shall have the option of taking action on the bond to complete the improvements or of voiding the approval. An applicant may request an extension of up to two (2) years for the completion of improvements from the Director of Development Services. An extension of two (2) years may be granted only if the applicant demonstrates good cause for not completing the improvements and demonstrates the present ability to complete the improvements. Market conditions shall be considered as a factor in determining whether or not an extension should be granted.

**F. Development Standards and Requirements.** The following development standards and requirements shall apply to all development in the PD-50 zone:

1. **Height.** The height of any structure or portion thereof shall not exceed the height of said structure (or portion thereof) shown in Appendix XX.

2. **Setbacks.** All buildings shall be set back a distance from all streets, exterior property lines and other buildings as shown in Appendix XX.

3. **Architectural Style.** Development in the PD-50 zone shall incorporate an aesthetically pleasing architectural and design theme that conforms to the style and quality shown in Appendix “XX.” Exterior finish materials shall consist of some or all of the following: brick, stucco, stone, fiber cement panels, precast concrete, and fiberglass. Window frames shall consist of aluminum, vinyl or wood.

4. **Utilities.** All structures shall be served by the public sewer system and public water supply. All utilities shall be placed underground. No water or sewer lines shall be placed under covered parking areas.

5. **Landscaping.** Landscaping shall be provided as generally shown in the concept plan. All land not covered by buildings, driveways, sidewalks or parking

areas shall be permanently landscaped with trees, shrubs, lawn, or living ground cover.

a. A landscaping plan shall be submitted to the City for approval as a part of the site plan.

b. All landscaping shall be maintained in accordance with good landscaping practice.

c. Deciduous trees at least two (2) inches in caliper measured six inches above ground level, and evergreen trees at least five (5) feet in height, are required at a ratio of one deciduous and one evergreen per every three thousand (3,000) square feet of landscaped area. Two shrubs at least five (5) gallons in size are also required for every three thousand (3,000) square feet of landscaped area. Trees shall be planted and maintained in the landscaped areas as generally shown in the concept plan.

d. Trees shall be planted in the landscaped areas along Geneva Road and shall be spaced no more than forty feet apart. Trees along Geneva Road shall be selected from the trees listed in Appendix "U" of the Orem City Code. The required trees shall be at least two inches (2") in caliper measured four feet (4') above the ground.

6. **Lighting Plan.** Any development in the PD-50 zone shall include a lighting plan. There shall be no direct glare onto adjacent properties. All parking lots shall be well lit and in accordance with Appendix "XX." The lighting plan shall be designed to:

- a. discourage crime;
- b. enhance the safety of the pedestrians and guests of the PD-50 development; and
- c. enhance the appearance and design of the project.

7. **Parking.** A minimum of 381 parking stalls shall be provided in the PD-50 zone. This parking requirement is based on the specific parking requirements for SLU 6911 (churches, synagogues and temples) as set forth in section 22-15-4(G)(6) of the Orem City Code. All parking spaces, parking areas and driveways shall be paved with asphalt, concrete and/or concrete pavers and shall be designed to allow for proper drainage.

8. **Off-site Improvements.** Off-site curb, gutter, sidewalk, and/or other improvements may be required by the City if development on the site contributes to a need for such off-site facilities and the improvements required are roughly proportional to the amount of the off-site impact caused by development in the PD-50 zone

9. **Minimum Lot Size.** The minimum lot size in the PD-50 zone shall be one-half (0.50) acre.

10. **Soils Report.** A soils report prepared by a soils engineer shall be submitted to the City prior to the approval of any site plan in the PD-50 zone. All development shall comply with the recommendations of the soils report.

11. **Storage Areas and Solid Waste Receptacles.** All outside storage areas and solid waste receptacles which are not located within a building shall be enclosed on three sides with the same materials as used on the exterior of the main structures within the development and shall have sight-obscuring gates.

12. **Masonry Wall.** A seven foot (7') high masonry wall is required along all property lines that adjoin a residential zone east of 1100 West. However, the height of the masonry wall shall be reduced to three feet in clear vision areas.

13. **Accesses.** Development in the PD-50 zone shall have one access from Geneva Road and one access from 1100 West as shown in Appendix XX. That portion of

1100 West that crosses the property in the PD-50 zone shall be a public street. All other streets and drives in the PD-50 zone shall be private.

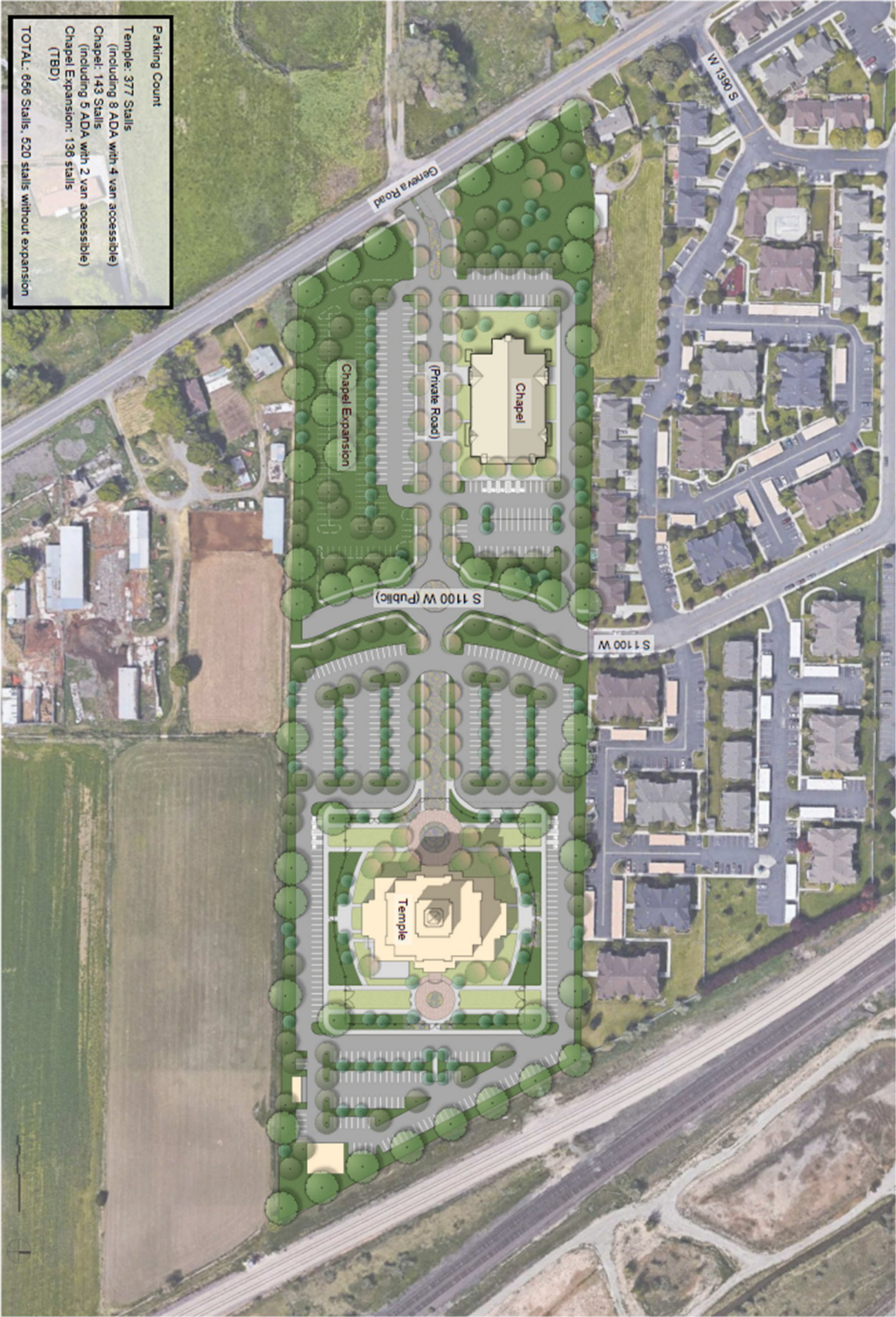
14. **Storm Water Facilities Plan.** Development in the PD-50 zone shall conform to all current City storm water ordinances, standards, and specifications. Roof drainage shall discharge through landscaped areas where practical.

15. **Signs** All signage in the PD-50 zone shall comply with Chapter 14 of the Orem City Code.

16. **Sidewalks.** A buffered sidewalk separated from the street by a landscaped strip shall be installed and maintained adjacent to all public streets. The sidewalk shall be ten feet (10') in width adjacent to Geneva Road and six feet (6') in width adjacent to 1100 West. The landscaped strip shall be at least eight feet (8') in width and shall be bermed to a height of at least one foot above the grade of the adjacent sidewalk. The landscaped strip shall be maintained with grass and trees with trees being planted and maintained in the buffering landscaped strip and spaced no more than forty feet (40') apart. Trees in the buffering landscaped strip shall be selected from Appendix U of the Orem City Code and shall be at least two inches (2") in caliper when planted. At least a proportionate share of the required sidewalk and buffering landscaped strip improvements shall be constructed with each phase of development in the PD-50 zone.

17. **Site Maintenance.** The site shall be maintained free from trash, weeds, garbage, paper and other refuse.





## APPROXIMATE FENESTRATION CALCULATIONS

### WEST FACADE:

LEVEL 1 PRECAST/MASONRY: 4988 SQ. FT.  
LEVEL 1 GLAZING: 423 SQ. FT.

L2-L3 PRECAST/MASONRY: 6468 SQ. FT.  
L2-L3 GLAZING: 814 SQ. FT.

TOWER: 2813 SQ. FT.  
TOWER GLAZING: 140 SQ. FT.

### SOUTH FACADE:

LEVEL 1 PRECAST/MASONRY: 3788 SQ. FT.  
LEVEL 1 GLAZING: 347 SQ. FT.

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L2-L3 GLAZING: 465 SQ. FT.

TOWER: 2813 SQ. FT.  
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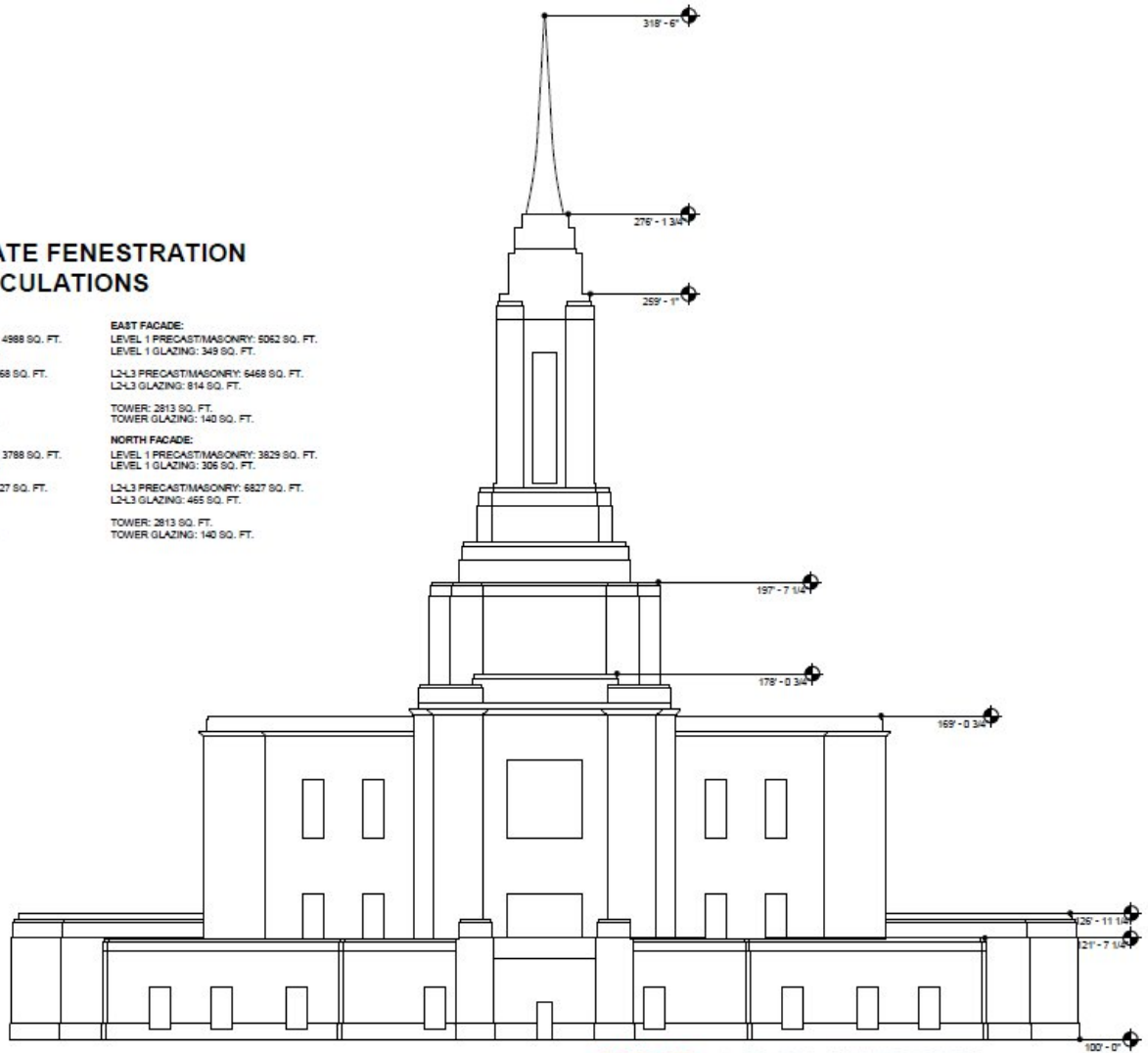
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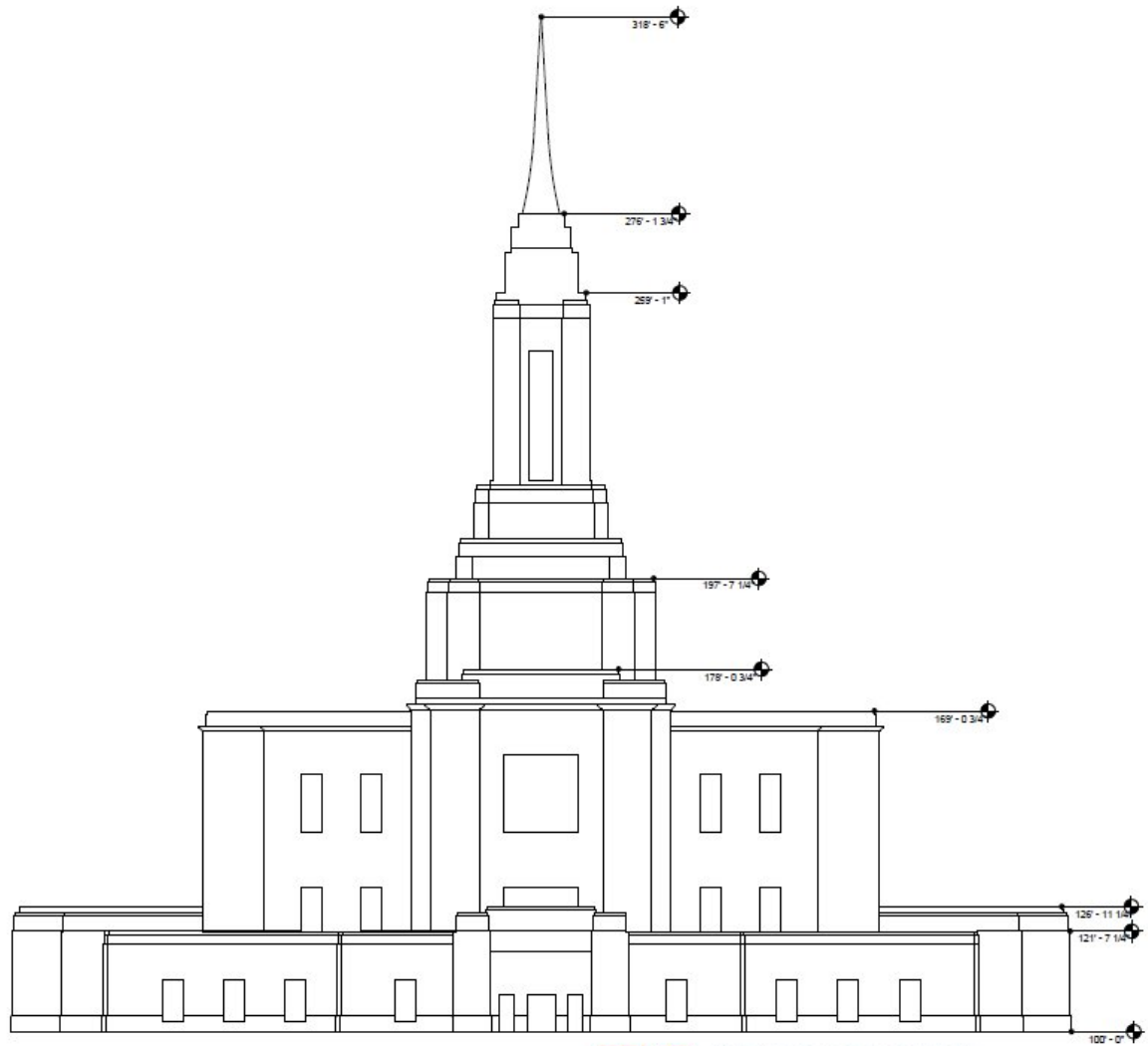
TOWER: 2813 SQ. FT.  
TOWER GLAZING: 140 SQ. FT.



OREM UTAH TEMPLE  
EAST ELEVATION OUTLINE

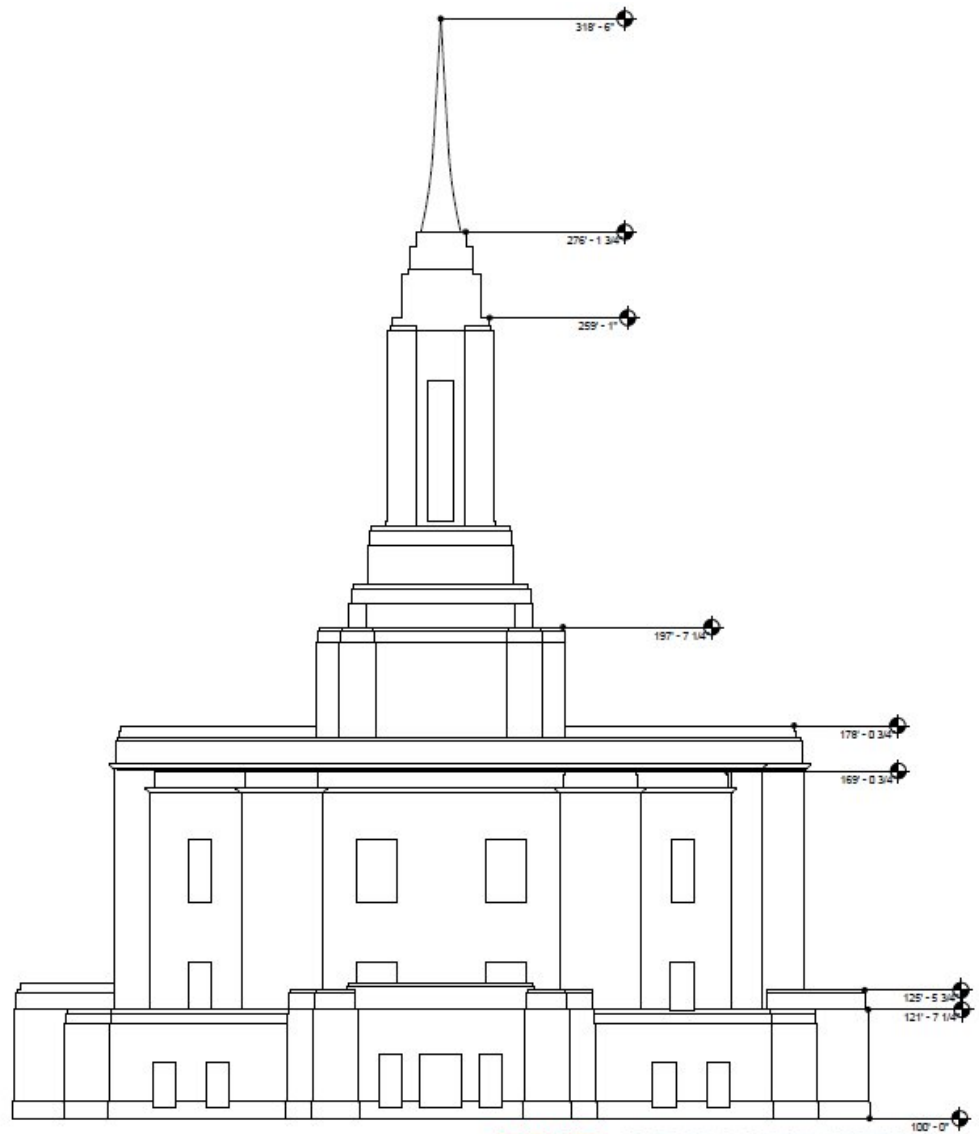
FFKR ARCHITECTS





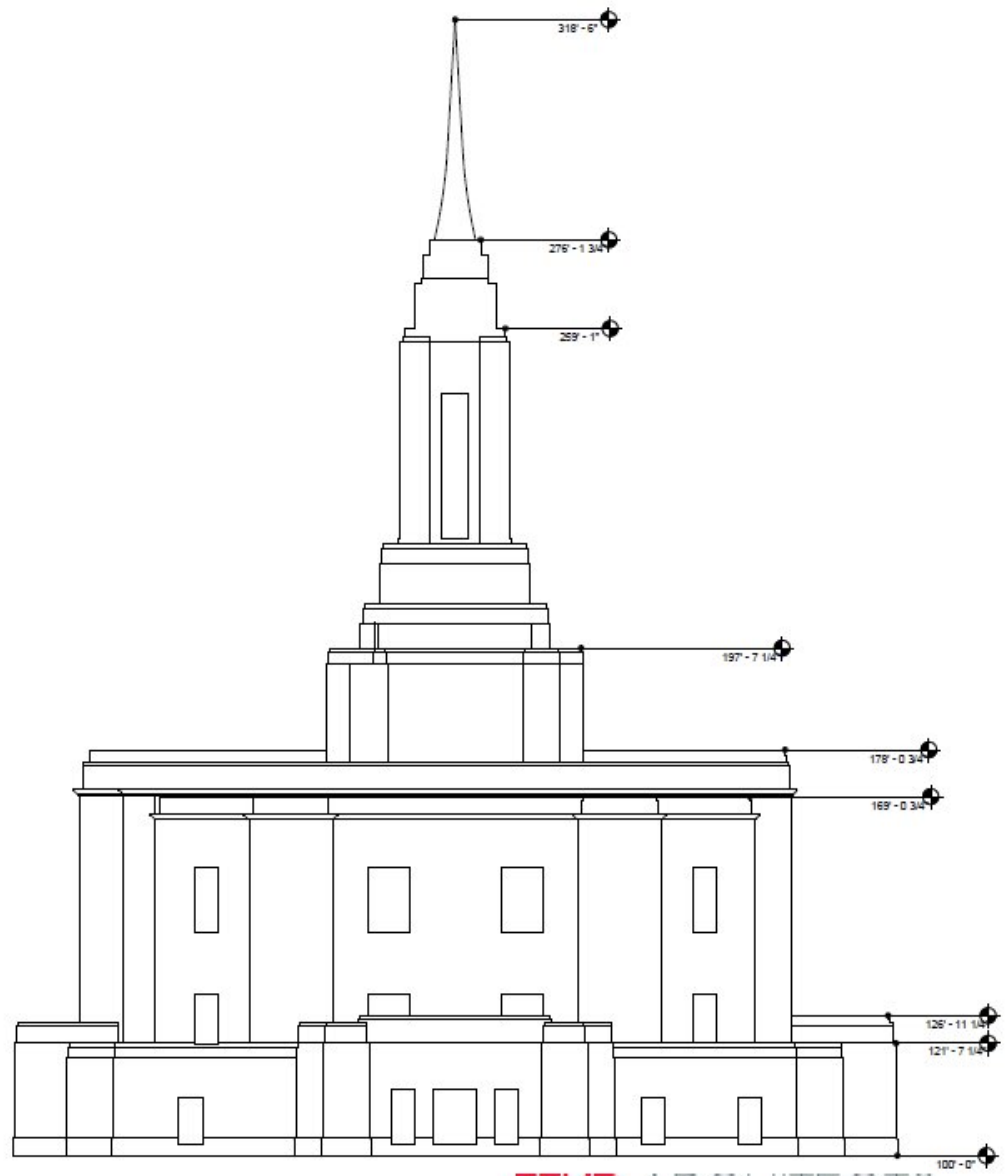
OREM UTAH TEMPLE  
WEST ELEVATION OUTLINE

FFKR ARCHITECTS



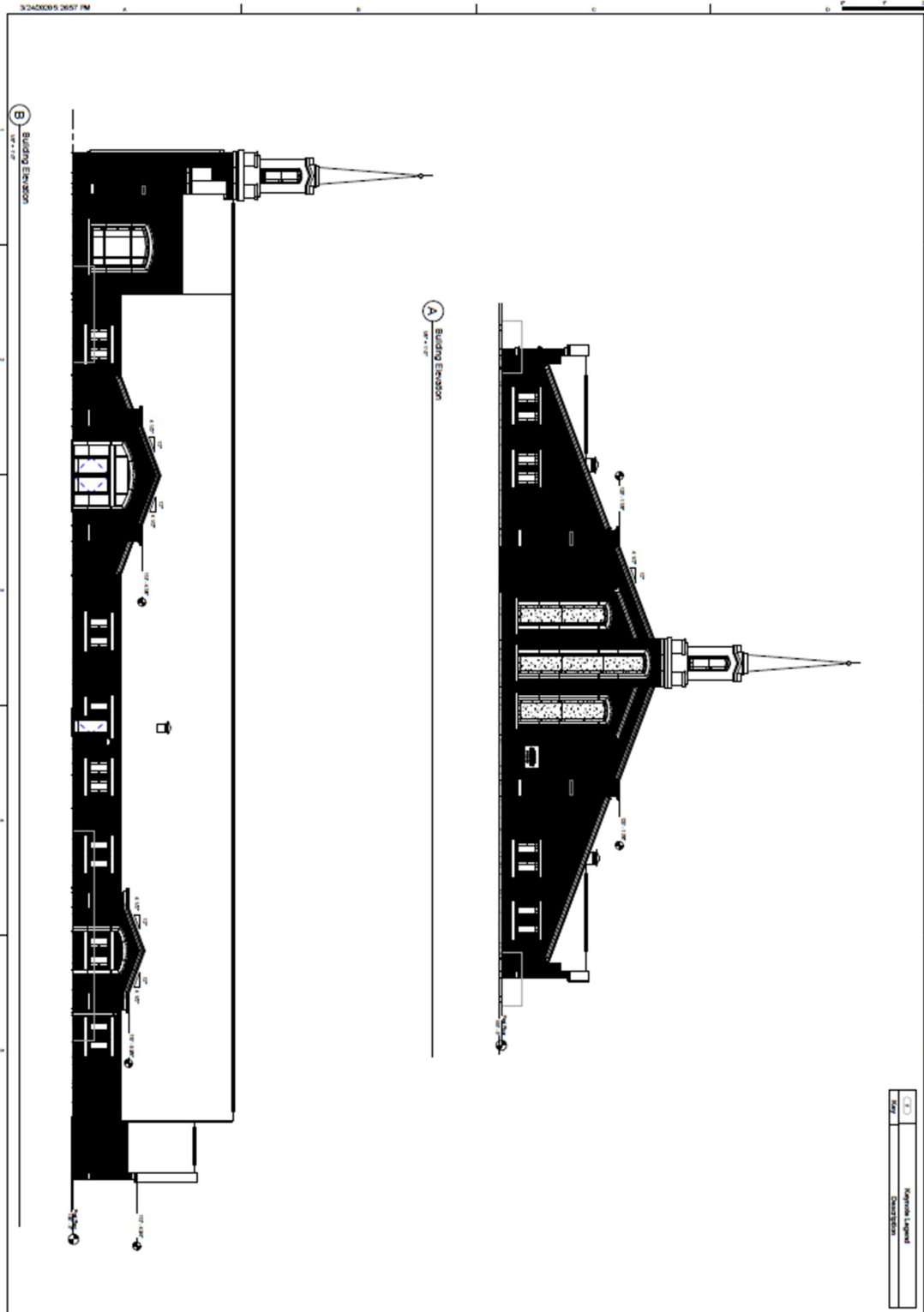
OREM UTAH TEMPLE  
SOUTH ELEVATION OUTLINE

FFKR ARCHITECTS



OREM UTAH TEMPLE  
NORTH ELEVATION OUTLINE

FFKR ARCHITECTS



Key	Material Legend
	Construction

A201

EXTERIOR  
ELEVATIONS

1/4" = 1' - 0"

Orem Temple Meetinghouse, &  
Orem, Utah  
The Church of Jesus Christ of Latter-day Saints  
Heritage 17 SC

**FFKR ARCHITECTS**  
760 Pacific Avenue • Salt Lake City, Utah 84104  
© 2012 FFKR • WWW.FFKR.COM

## Neighborhood meeting – March 5, 2020 – Orem Utah Temple site proposed rezoning

Neighbors signed in as they arrived at the meeting, which began at 8:06 p.m. at a meetinghouse of The Church of Jesus Christ of Latter-day Saints located at 1800 South 400 West in Orem.

Jared Doxey, director of construction for North America for the Church's Special Projects Department, opened the meeting. He introduced Brent Roberts, managing director of Special Projects, and Tom Heath, project manager, who were also in attendance. Orem Mayor Richard Brunst and Orem City Councilmember Debby Lauret were also present.

Jared Doxey outlined the site for the temple and basic plans including square footage for the temple and adjacent meetinghouse. He showed a map of the location. He then showed several site photos of the location from several vantage points. He then showed a proposed site plan which pictured the temple on the east side, 600 parking spaces, and a meetinghouse. The site plan also showed a road which will go through the temple site connecting an existing neighborhood with a future development.

The formal meeting concluded, followed by individual question-and-answers with neighbors and representatives from the Church. Neighbors were also told to leave any feedback on comment cards which were available throughout the room. No comment cards were submitted.

Questions asked by neighbors included the planned beginning and length of construction, what this rezoning process will accomplish, and what the future public process will look like as the temple project moves forward.















[illegible]





















For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

The Church of Jesus Christ of Latter-Day Saints request the city enact Section 22-11-63 PD-50 (Orem Utah Temple – 1465 South Geneva Road) Zone, and Appendix “XX” of the Orem City Code, and amend Article 22-5-3(A) and the zoning map of the City of Orem by changing the zone on approximately 15.39 acres from the OS5 zone to the PD-50 zone at 1465 South Geneva Road. (See note on back)

Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

CRAPO, JOSEPH R & STACY D  
218 BIRCHWOOD DR  
WEST CHESTER, PA 19380

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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CALDERON, CARLOS MARTIN  
915 BRYAN DR  
APEX, NC 27502

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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City Council  
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6:00 pm

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JACOBSON, VIRGINIA  
1426 21ST ST S  
ARLINGTON, VA 22202

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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City Council  
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GRIFFETH, DOREEN R & ROBERT G  
203 OLD AVERY CT  
CANTON, GA 30115

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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LAMBERT, PATRICIA V  
2947 S ATLANTIC AV APT 1001  
DAYTONA BEACH, FL 32118

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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THOLEN, JON & HOLLY J  
12233 NW I STEET  
POMPANO BEACH, FL 33071

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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MUNIZ, JEFF  
3630 AZALEA CT  
PANAMA CITY, FL 32405

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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LUX, LAVAU & JEAN  
938 SPRING HILL RD  
POPLARVILLE, MS 39470

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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UNION PACIFIC RAILROAD COMPANY  
1400 DOUGLAS ST MAIL STOP 1690  
OMAHA, NE 68179

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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BAIRD HOLDINGS LLC  
3714 HAMPSHIRE CT  
IDAHO FALLS, ID 83404

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

CHRISTENSON, LARRY & MARVA (ET AL)  
38 W 208 S  
BURLEY, ID 83318

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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GLAZIER, SCOTT B & MAXINE Y  
152 W 640 N  
AMERICAN FORK, UT 84003

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

The Church of Jesus Christ of Latter-Day Saints request the city enact Section 22-11-63 PD-50 (Orem Utah Temple – 1465 South Geneva Road) Zone, and Appendix “XX” of the Orem City Code, and amend Article 22-5-3(A) and the zoning map of the City of Orem by changing the zone on approximately 15.39 acres from the OS5 zone to the PD-50 zone at 1465 South Geneva Road. (See note on back)

Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

BLUNCK, KENDAL (ET AL)  
976 W 840 N  
AMERICAN FORK, UT 84003

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

BEARDALL, C DARRELL (ET AL)  
147 S 1060 E  
AMERICAN FORK, UT 84003

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

BENNION, DONALD D & AMY P  
93 N 960 E  
AMERICAN FORK, UT 84003

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

T&K RESIDENTIAL HOLDINGS LLC  
PO BOX 772  
AMERICAN FORK, UT 84003

City Council  
Tue, Apr 14, 2020  
6:00 pm



For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

HASSEY, MARK C  
10468 N 6790 W  
HIGHLAND, UT 84003

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

REAM, JOSEPH JAMES & KAY S  
5269 WINDSOR LA  
HIGHLAND, UT 84003

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

CALNEAL WEST LLC  
%CALL, HENRY M  
6541 W BURGH WAY  
HIGHLAND, UT 84003

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

MKA HOLDINGS LLC  
%ANDERTON, MICHAEL  
389 SUNRISE DR  
ALPINE, UT 84004

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

The Church of Jesus Christ of Latter-Day Saints request the city enact Section 22-11-63 PD-50 (Orem Utah Temple – 1465 South Geneva Road) Zone, and Appendix “XX” of the Orem City Code, and amend Article 22-5-3(A) and the zoning map of the City of Orem by changing the zone on approximately 15.39 acres from the OS5 zone to the PD-50 zone at 1465 South Geneva Road. (See note on back)

Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

ROSE, DALE P  
9357 N SUNNYVALE DR  
EAGLE MOUNTAIN, UT 84005

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

CORDOVA, KENNETH  
138 E 12300 S STE C  
DRAPER, UT 84020

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

GIBBONS, MARK B & SHARON L  
1524 N 725 E  
BOUNTIFUL, UT 84010

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

STEVENS, KIM R  
13755 SHADOW MOUNTAIN LA  
DRAPER, UT 84020



For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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GKM FAMILY LLC (ET AL)  
11576 S STATE ST # 102B  
DRAPER, UT 84020

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

LILLYWHITE, ERIC C & LORENE K  
C/O 2670 E 1650 N  
LAYTON, UT 84040

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

VOVIN HOLDINGS LLC  
802 COUNTRY LN  
FARMINGTON, UT 84025

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

HC PACIFIC PROPERTIES LLC  
1253 E 60 S  
LINDON, UT 84042

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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ANDERSON, JULIE S  
421 N 600 E  
LINDON, UT 84042

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

LEXINGTON COVE DEVELOPMENT LLC  
72 E 710 N  
LINDON, UT 84042

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

OREM R LLC  
387 W 700 N  
LINDON, UT 84042

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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SMITH, JASON K  
592 N 1510 W  
LINDON, UT 84042

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

GILLMAN, KEVIN & LISA  
390 N GILLMAN LN  
LINDON, UT 84042

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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MCCANN INVESTMENTS LLC  
122 N MAIN ST  
LINDON, UT 84042

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

TOMLINSON, LOWELL TODD & LUETTE  
631 N LOCUST AV  
LINDON, UT 84042

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

JOHNSON, MARGIE K  
3266 N 200 W  
LEHI, UT 84043

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

WARBURTON, JARED LYNN  
1472 E 500 N  
LEHI, UT 84043

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

WILLIAMS, LISA H  
%HALES, LISA J  
1328 S MEADOW CREST WAY  
SARATOGA SPRINGS, UT 84045

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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KC BAKER INC  
720 E 1725 N  
LEHI, UT 84043

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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GOODALL INVESTMENTS LLC  
2448 S SHOREWOOD DR  
SARATOGA SPRINGS, UT 84045

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

ORTON, ROB S & TIA R  
878 W SNICKERS LN  
MIDVALE, UT 84047

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

JP FLETCHER HOLDINGS LLC  
1846 N 200 W  
OREM, UT 84057

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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DEAVER, TOMMY F & VICTORIA  
PO BOX 1443  
MIDWAY, UT 84049

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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WILKS, JARED & KELLY  
1683 N 210 E  
OREM, UT 84057

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

ZABEL, NANCY L  
769 N 480 W  
OREM, UT 84057

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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JEFF LAMBSON  
156 E 1060 N  
OREM, UT 84057

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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PARRY, NICOLE  
1714 N 850 W  
OREM, UT 84057

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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JASON BENCH  
1911 N MAIN STREET  
OREM, UT 84057-2101

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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KRISTIE SNYDER  
56 N STATE STREET  
OREM, UT 84057

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
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WELCH, DIANA L (ET AL)  
1934 W 475 S  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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COUNTRY WOODS LC  
758 S 400 E # 203  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
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BRENT SUMNER  
744 WEST 550 SOUTH  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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LEHNARDT, RUEDIGER K R & L CAREL  
491 W 700 S  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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CHAMBERY WOODS LLC  
--OR CURRENT RESIDENT--  
1393 S 1020 WEST  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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CHAIDES, RICARDO  
1391 S 1020 W  
OREM, UT 84058

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City Council Chambers, 56 N State Street

City Council  
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WILKINSON, KEVIN LYNN & SHARON LUNT  
(ET AL)  
--OR CURRENT RESIDENT--  
1395 S 1020 WEST  
OREM, UT 84058



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Jason Bench at (801) 229-7238  
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SMITH, JASON K  
--OR CURRENT RESIDENT--  
1397 S 1020 WEST  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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City Council  
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JP FLETCHER HOLDINGS LLC  
--OR CURRENT RESIDENT--  
1401 S 1020 WEST  
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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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TULIP, SHANELL L  
1399 S 1020 W  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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City Council  
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HEMMERT, TYLER JASON  
1403 S 1020 W  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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VOVIN HOLDINGS LLC  
--OR CURRENT RESIDENT--  
1405 S 1020 WEST  
OREM, UT 84058

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OREM R LLC  
--OR CURRENT RESIDENT--  
1409 S 1020 WEST  
OREM, UT 84058

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CHAMBERY WOODS LLC  
--OR CURRENT RESIDENT--  
1407 S 1020 WEST  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
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City Council Chambers, 56 N State Street

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DUNN, WILBUR J & TAMMY T  
1411 S 1020 W  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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JACKMAN, BRADLEY JAY & VICKI LYNN  
--OR CURRENT RESIDENT--  
1413 S 1020 WEST  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
6:00 pm

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Jason Bench at (801) 229-7238  
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GLAZIER, SCOTT B & MAXINE Y  
--OR CURRENT RESIDENT--  
1394 S 1050 WEST  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
6:00 pm

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Jason Bench at (801) 229-7238  
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FISHER, HAILEY & DUSTIN P (ET AL)  
1392 S 1050 W  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
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CENTRAL BANK (ET AL)  
--OR CURRENT RESIDENT--  
1396 S 1050 WEST  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
6:00 pm

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Jason Bench at (801) 229-7238  
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City Council  
Tue, Apr 14, 2020  
6:00 pm

DEAVER, TOMMY F & VICTORIA  
--OR CURRENT RESIDENT--  
1398 S 1050 WEST  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
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City Council  
Tue, Apr 14, 2020  
6:00 pm

WELCH, DIANA L (ET AL)  
--OR CURRENT RESIDENT--  
1402 S 1050 WEST  
OREM, UT 84058

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City Council  
Tue, Apr 14, 2020  
6:00 pm

CHAMBERY WOODS LLC  
--OR CURRENT RESIDENT--  
1400 S 1050 WEST  
OREM, UT 84058

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City Council  
Tue, Apr 14, 2020  
6:00 pm

LEHNARDT, RUEDIGER K R & L CAREL  
--OR CURRENT RESIDENT--  
1404 S 1050 WEST  
OREM, UT 84058

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FAULKNER, WILLIAM C & HARLI M  
1406 S 1050 W  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
6:00 pm

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BENNION, DONALD D & AMY P  
--OR CURRENT RESIDENT--  
1410 S 1050 WEST  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
6:00 pm

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SHUMWAY, PATRICK W & CORINNE M (ET AL)  
--OR CURRENT RESIDENT--  
1408 S 1050 WEST  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
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VILLAR, MIRTA L (ET AL)  
1412 S 1050 W  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
6:00 pm

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Jason Bench at (801) 229-7238  
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City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

HOWELL, KORBY J (ET AL)  
--OR CURRENT RESIDENT--  
1414 S 1050 WEST  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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STRONG, BENJAMIN W  
1341 S 1110 W  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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HC PACIFIC PROPERTIES LLC  
--OR CURRENT RESIDENT--  
1339 S 1110 WEST  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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PALMER, BOYD ERVIN & KRISTIN PETERSON  
1343 S 1110 W  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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DEAVER, TOMMY F & VICTORIA  
--OR CURRENT RESIDENT--  
1345 S 1110 WEST  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
6:00 pm

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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PALATIAL LIVING LLC  
--OR CURRENT RESIDENT--  
1349 S 1110 WEST  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
6:00 pm

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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LUX, LAVAUUR & JEAN  
--OR CURRENT RESIDENT--  
1347 S 1110 WEST  
OREM, UT 84058

City Council  
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6:00 pm

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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CERQUEIRA, LUIZ F  
1351 S 1110 W  
OREM, UT 84058

City Council  
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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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1370 S LLC  
--OR CURRENT RESIDENT--  
1353 S 1110 WEST  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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SCHICK, MICHAEL T  
--OR CURRENT RESIDENT--  
1357 S 1110 WEST  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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KC BAKER INC  
--OR CURRENT RESIDENT--  
1355 S 1110 WEST  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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HASSEY, MARK C  
--OR CURRENT RESIDENT--  
1359 S 1110 WEST  
OREM, UT 84058



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ONGOONGOTAU, HEIVAH & K SIMONE  
--OR CURRENT RESIDENT--  
1361 S 1110 WEST  
OREM, UT 84058

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REAM, JOSEPH JAMES & KAY S  
--OR CURRENT RESIDENT--  
1367 S 1110 WEST  
OREM, UT 84058

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HASSEY, MARK C  
--OR CURRENT RESIDENT--  
1365 S 1110 WEST  
OREM, UT 84058

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DEAVER, TOMMY F & VICTORIA  
--OR CURRENT RESIDENT--  
1369 S 1110 WEST  
OREM, UT 84058

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ARRIETA, JESUS & SOLEDAD (ET AL)  
--OR CURRENT RESIDENT--  
1371 S 1110 WEST  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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NAYLOR, BRET & MELINDA  
--OR CURRENT RESIDENT--  
1373 S 1110 WEST  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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NAYLOR, BRET & MELINDA  
1373 S 1110 WEST 5F  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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CARDENAS, MIRIAM F GARCIA  
1375 S 1110 W  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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WEINGARTEN, ROBERT A & MARAIA T (ET AL)  
1377 S 1110 W  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
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CRAPO, JOSEPH R & STACY D  
--OR CURRENT RESIDENT--  
1381 S 1110 WEST  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
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POTEAT, LEONANI N  
1379 S 1110 W  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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KIDD PROPERTIES LLC  
--OR CURRENT RESIDENT--  
1383 S 1110 WEST  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
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1385 CHAMBERY LLC  
--OR CURRENT RESIDENT--  
1385 S 1110 WEST  
OREM, UT 84058

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CALDERON, CARLOS MARTIN  
--OR CURRENT RESIDENT--  
1358 S 1150 WEST  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
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WILLIAMSON, WAYNE & KARLA  
--OR CURRENT RESIDENT--  
1387 S 1110 WEST  
OREM, UT 84058

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GILLMAN, KEVIN & LISA  
--OR CURRENT RESIDENT--  
1360 S 1150 WEST  
OREM, UT 84058



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**BROWN, WILLIAM NEIL & CHRISTINE**  
--OR CURRENT RESIDENT--  
1362 S 1150 WEST  
OREM, UT 84058

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or [jwbench@orem.org](mailto:jwbench@orem.org)



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**GUSTAVSON, JONATHAN & DEBORA**  
--OR CURRENT RESIDENT--  
1364 S 1150 WEST  
OREM, UT 84058

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or [jwbench@orem.org](mailto:jwbench@orem.org)



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**BRYANT, THOMAS & MARILYN A**  
--OR CURRENT RESIDENT--  
1363 S 1150 WEST  
OREM, UT 84058

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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

**FLORENCE, CHRISTOPHER S**  
1365 S 1150 W  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

The Church of Jesus Christ of Latter-Day Saints request the city enact Section 22-11-63 PD-50 (Orem Utah Temple – 1465 South Geneva Road) Zone, and Appendix “XX” of the Orem City Code, and amend Article 22-5-3(A) and the zoning map of the City of Orem by changing the zone on approximately 15.39 acres from the OS5 zone to the PD-50 zone at 1465 South Geneva Road. (See note on back)

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WARBURTON, JARED LYNN  
--OR CURRENT RESIDENT--  
1366 S 1150 WEST  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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WARD, BENJAMIN M & BROOKE (ET AL)  
--OR CURRENT RESIDENT--  
1368 S 1150 WEST  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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PETIT, YANN & SHARON  
1367 S 1150 W  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
6:00 pm

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Jason Bench at (801) 229-7238  
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City Council Chambers, 56 N State Street

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HENRY, JONATHON J  
--OR CURRENT RESIDENT--  
1369 S 1150 WEST  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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HENRY, JONATHON J  
1369 S 1150 W # 4  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
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ELMCREST ENTERPRISES LLC  
--OR CURRENT RESIDENT--  
1371 S 1150 WEST  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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1370 S LLC  
--OR CURRENT RESIDENT--  
1370 S 1150 WEST  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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CHRISTENSON, LARRY & MARVA (ET AL)  
--OR CURRENT RESIDENT--  
1372 S 1150 WEST  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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RDLO LIEG LLC  
--OR CURRENT RESIDENT--  
1373 S 1150 WEST  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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6:00 pm

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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

ZARRAHONANDIA, ELOISA A (ET AL)  
1375 S 1150 W  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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WILLIAMS, SHANNON ELIZABETH  
1374 S 1150 W  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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CHAMBERY WOODS LLC  
--OR CURRENT RESIDENT--  
1376 S 1150 WEST  
OREM, UT 84058



For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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SIMMONS, SAMUEL  
1377 S 1150 W  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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BECKETT, PAUL & MELISSA  
1379 S 1150 W  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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OREM R LLC  
--OR CURRENT RESIDENT--  
1378 S 1150 WEST  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
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City Council Chambers, 56 N State Street

City Council  
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KOHLER, SETH & CURTIS M  
--OR CURRENT RESIDENT--  
1380 S 1150 WEST  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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KRYUKOVA, GALINA (ET AL)  
1381 S 1150 W  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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RUCKER, BENJAMIN  
1385 S 1150 W  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
6:00 pm

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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GIBBONS, MARK B & SHARON L  
--OR CURRENT RESIDENT--  
1383 S 1150 WEST  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
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PETIT, YANN & SHARON  
--OR CURRENT RESIDENT--  
1356 S 1190 WEST  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
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City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
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PETIT, YANN & SHARON  
1356 S 1190 W # 1  
OREM, UT 84058

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City Council Chambers, 56 N State Street

City Council  
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WARNKE, JENNIFER L & MATTHEW SHAWN  
1362 S 1190 W  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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KURZINSKI, ARON  
1360 S 1190 W  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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SCHRECK, KAEA  
1368 S 1190 W  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
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City Council Chambers, 56 N State Street

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LOCKE, NICK  
1342 S 1220 W  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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GARRISON, JASON B & BARBARA  
--OR CURRENT RESIDENT--  
1350 S 1220 WEST  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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GUSTAFSON, STUART R  
1346 S 1220 W  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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LEROY, DANIEL C & JANIE R (ET AL)  
--OR CURRENT RESIDENT--  
1354 S 1220 WEST  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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REID, LENORA  
1371 S 1220 W  
OREM, UT 84058

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ELMCREST ENTERPRISES LLC  
--OR CURRENT RESIDENT--  
1377 S 1220 WEST  
OREM, UT 84058

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WILLIAMS, LISA H  
--OR CURRENT RESIDENT--  
1372 S 1220 WEST  
OREM, UT 84058

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or [jwbench@orem.org](mailto:jwbench@orem.org)



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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

HOLDING, TINA RENEE  
--OR CURRENT RESIDENT--  
1378 S 1220 WEST  
OREM, UT 84058



For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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ROSE, DALE P  
--OR CURRENT RESIDENT--  
1381 S 1220 WEST  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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CHRISTENSEN, LOWELL THORWALD  
1385 S 1220 W  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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LEITE, SERGIO DA COSTA  
--OR CURRENT RESIDENT--  
1382 S 1220 WEST  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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HOVEY, ROBERT J  
1388 S 1220 W  
OREM, UT 84058

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or [jwbench@orem.org](mailto:jwbench@orem.org)



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RAMIREZ, ELVIRA  
1412 S 1300 W  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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LEXINGTON COVE DEVELOPMENT LLC  
--OR CURRENT RESIDENT--  
1155 W 1330 SOUTH  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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OAKHURST APARTMENTS LLC  
--OR CURRENT RESIDENT--  
1110 W 1315 SOUTH  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

SANDERS, DAVID L  
--OR CURRENT RESIDENT--  
1159 W 1330 SOUTH  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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TOBLER, AARON J & SHELBY L  
1163 W 1330 S  
OREM, UT 84058

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or [jwbench@orem.org](mailto:jwbench@orem.org)



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WILLIAMSON, ROBERT MICHAEL & KYLEIGH JO  
1171 W 1330 S  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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MARKIDES, MARIO D  
--OR CURRENT RESIDENT--  
1167 W 1330 SOUTH  
OREM, UT 84058

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T&K RESIDENTIAL HOLDINGS LLC  
--OR CURRENT RESIDENT--  
1177 W 1330 SOUTH  
OREM, UT 84058

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MCARTHUR, DAVID S & MYRA G  
1125 W 1335 S  
OREM, UT 84058

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MOORE, RYAN G  
1129 W 1335 S  
OREM, UT 84058

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JOHNSON, CHAD N & MANDY S  
--OR CURRENT RESIDENT--  
1127 W 1335 SOUTH  
OREM, UT 84058

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CHAMBERY WOODS LLC  
--OR CURRENT RESIDENT--  
1131 W 1335 SOUTH  
OREM, UT 84058

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or [jwbench@orem.org](mailto:jwbench@orem.org)



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CENTRAL BANK (ET AL)  
--OR CURRENT RESIDENT--  
1133 W 1335 SOUTH  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
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BAIRD HOLDINGS LLC  
--OR CURRENT RESIDENT--  
1137 W 1335 SOUTH  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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DEAVER, TOMMY F & VICTORIA  
--OR CURRENT RESIDENT--  
1135 W 1335 SOUTH  
OREM, UT 84058

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SAKAMOTO, COREY & SUSAN  
1139 W 1335 S  
OREM, UT 84058



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TOMLINSON, LOWELL TODD & LUETTE  
--OR CURRENT RESIDENT--  
1141 W 1335 SOUTH  
OREM, UT 84058

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SEARLE, BRANDON S  
--OR CURRENT RESIDENT--  
1145 W 1335 SOUTH  
OREM, UT 84058

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BLUNCK, KENDAL (ET AL)  
--OR CURRENT RESIDENT--  
1143 W 1335 SOUTH  
OREM, UT 84058

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MAXWELL, JORDAN  
1147 W 1335 S  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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SUMMERS, DAVID & LEUTE  
--OR CURRENT RESIDENT--  
1004 W 1360 SOUTH  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
6:00 pm

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ATHERLY, WILLIAM SCOTT & PEGGY G  
--OR CURRENT RESIDENT--  
1008 W 1360 SOUTH  
OREM, UT 84058

City Council  
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CORDOVA, KENNETH  
--OR CURRENT RESIDENT--  
1006 W 1360 SOUTH  
OREM, UT 84058

City Council  
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WILKINSON, KEVIN LYNN & SHARON LUNT  
(ET AL)  
--OR CURRENT RESIDENT--  
1010 W 1360 SOUTH  
OREM, UT 84058

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JEEMA LLC  
--OR CURRENT RESIDENT--  
1012 W 1360 SOUTH  
OREM, UT 84058

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ORTON, ROB S & TIA R  
--OR CURRENT RESIDENT--  
1016 W 1360 SOUTH  
OREM, UT 84058

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JEEMA IV LLC  
--OR CURRENT RESIDENT--  
1014 W 1360 SOUTH  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

PIRATES' CHEST LLC  
--OR CURRENT RESIDENT--  
1018 W 1360 SOUTH  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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JOHNSON, MAREN & DAVID  
1020 W 1360 S  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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TEJADA, MICHAEL P & JUANITA K (ET AL)  
--OR CURRENT RESIDENT--  
1023 W 1360 SOUTH  
OREM, UT 84058

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PAYNE, WILLIAM COLE & WILLIAM WADE  
1022 W 1360 S  
OREM, UT 84058

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or [jwbench@orem.org](mailto:jwbench@orem.org)



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GRAHAM, PHILLIP JAMES & ALLISON  
1024 W 1360 S  
OREM, UT 84058

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RESID-ENCE PROPERTIES 3 LLC  
--OR CURRENT RESIDENT--  
1025 W 1360 SOUTH  
OREM, UT 84058

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City Council Chambers, 56 N State Street

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WIESE, JERRY A II & KRISTINE D (ET AL)  
--OR CURRENT RESIDENT--  
1027 W 1360 SOUTH  
OREM, UT 84058

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BEESON, SAMUEL M  
--OR CURRENT RESIDENT--  
1026 W 1360 SOUTH  
OREM, UT 84058

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PARRY, NICOLE  
--OR CURRENT RESIDENT--  
1029 W 1360 SOUTH  
OREM, UT 84058



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PETERSON, COLEEN  
--OR CURRENT RESIDENT--  
1033 W 1360 SOUTH  
OREM, UT 84058

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ROWLEY, SHERI  
1037 W 1360 S  
OREM, UT 84058

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WIESE, JERRY A II & KRISTINE D (ET AL)  
--OR CURRENT RESIDENT--  
1035 W 1360 SOUTH  
OREM, UT 84058

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STEPHENSON, BRENT D  
1039 W 1360 S  
OREM, UT 84058

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HASTRITER, MICHAEL WAYNE & PAULINE  
LORRAINE (ET AL)  
--OR CURRENT RESIDENT--  
1040 W 1360 SOUTH  
OREM, UT 84058

City Council  
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JACKSON, WAYNE R & HOLLY W  
--OR CURRENT RESIDENT--  
1044 W 1360 SOUTH  
OREM, UT 84058

City Council  
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KAVANAGH, KEVIN F & DEBRA D  
--OR CURRENT RESIDENT--  
1042 W 1360 SOUTH  
OREM, UT 84058

City Council  
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ROBISON, CARL WAYNE & JAN J  
--OR CURRENT RESIDENT--  
1046 W 1360 SOUTH  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
6:00 pm

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MUNIZ, JEFF  
--OR CURRENT RESIDENT--  
1048 W 1360 SOUTH  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
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TILDEN, ROGER B & VALERIE J (ET AL)  
--OR CURRENT RESIDENT--  
1052 W 1360 SOUTH  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
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LEHNARDT, RUEDIGER K R & L CAREL  
--OR CURRENT RESIDENT--  
1050 W 1360 SOUTH  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
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CARSON, EVAN (ET AL)  
1054 W 1360 S  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
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MATHUSEK, EMILY  
1056 W 1360 S  
OREM, UT 84058

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CHACON 1060 WEST LLC  
--OR CURRENT RESIDENT--  
1060 W 1360 SOUTH  
OREM, UT 84058

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JOHNSON, MARGIE K  
--OR CURRENT RESIDENT--  
1058 W 1360 SOUTH  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
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CALNEAL WEST LLC  
--OR CURRENT RESIDENT--  
1061 W 1360 SOUTH  
OREM, UT 84058

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or [jwbench@orem.org](mailto:jwbench@orem.org)



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HALES, THOMAS & KRISTIN  
1062 W 1360 S  
OREM, UT 84058

City Council  
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CALNEAL WEST LLC  
--OR CURRENT RESIDENT--  
1065 W 1360 SOUTH  
OREM, UT 84058

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OREM, UT 84058

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JEEMA II LLC  
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OREM, UT 84058

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CALNEAL WEST LLC  
--OR CURRENT RESIDENT--  
1067 W 1360 SOUTH  
OREM, UT 84058

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GRAHAM, PHILLIP JAMES & ALLISON  
--OR CURRENT RESIDENT--  
1070 W 1360 SOUTH  
OREM, UT 84058

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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

HALVERSEN, BRANDON  
1068 W 1360 S  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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MCCANN INVESTMENTS LLC  
--OR CURRENT RESIDENT--  
1071 W 1360 SOUTH  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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BEARDALL, C DARRELL (ET AL)  
--OR CURRENT RESIDENT--  
1072 W 1360 SOUTH  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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JEEMA III LLC  
--OR CURRENT RESIDENT--  
1074 W 1360 SOUTH  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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MCCANN INVESTMENTS LLC  
--OR CURRENT RESIDENT--  
1073 W 1360 SOUTH  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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MCCANN INVESTMENTS LLC  
--OR CURRENT RESIDENT--  
1075 W 1360 SOUTH  
OREM, UT 84058

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City Council Chambers, 56 N State Street

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FEICHKO, JARUM & STACI  
--OR CURRENT RESIDENT--  
1076 W 1360 SOUTH  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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GEIB, DANIEL G & JILL LINDSAY  
--OR CURRENT RESIDENT--  
1078 W 1360 SOUTH  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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MCCANN INVESTMENTS LLC  
--OR CURRENT RESIDENT--  
1077 W 1360 SOUTH  
OREM, UT 84058

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GRIFFETH, DOREEN R & ROBERT G  
--OR CURRENT RESIDENT--  
1080 W 1360 SOUTH  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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VICKERS, MARCUS W & C WAYNE  
1082 W 1360 S  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
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BOWERS, ELIZABETH  
--OR CURRENT RESIDENT--  
1086 W 1360 SOUTH  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
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MKA HOLDINGS LLC  
--OR CURRENT RESIDENT--  
1084 W 1360 SOUTH  
OREM, UT 84058

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SARIBAY, GLICERIO NELSON (ET AL)  
1088 W 1360 S  
OREM, UT 84058

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VILLALOBOS, EFRAIN  
--OR CURRENT RESIDENT--  
1105 W 1390 SOUTH  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
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MILLER, DEE  
1113 W 1390 S  
OREM, UT 84058

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LAMBERT, PATRICIA V  
--OR CURRENT RESIDENT--  
1109 W 1390 SOUTH  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
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WEIR, MARY SHEPHERD  
1117 W 1390 S  
OREM, UT 84058



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BACTISTA, AARON L  
1120 W 1390 S  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
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MURIE, LANDON (ET AL)  
1122 W 1390 S  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
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ANDERSON, JULIE S  
--OR CURRENT RESIDENT--  
1121 W 1390 SOUTH  
OREM, UT 84058

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BEARDALL, C DARRELL (ET AL)  
--OR CURRENT RESIDENT--  
1124 W 1390 SOUTH  
OREM, UT 84058

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HEMSLEY, MICHAEL D  
1125 W 1390 S  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
6:00 pm

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REAM, JOSEPH JAMES & KAY S  
--OR CURRENT RESIDENT--  
1128 W 1390 SOUTH  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
6:00 pm

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JACOBSON, VIRGINIA  
--OR CURRENT RESIDENT--  
1126 W 1390 SOUTH  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
6:00 pm

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PETIT, YANN J & SHARON L  
1129 W 1390 S  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
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BASS, KENNETH WILLIAM & KENNETH  
DWAYNE  
1130 W 1390 S  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
6:00 pm

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REDD, BRANDT & JULIE  
--OR CURRENT RESIDENT--  
1133 W 1390 SOUTH  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
6:00 pm

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GROW, BRET SAMUEL DAWSON II & SYLVIA  
KAYE  
1132 W 1390 S  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
6:00 pm

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CHAMBERY WOODS LLC  
--OR CURRENT RESIDENT--  
1134 W 1390 SOUTH  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
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WALDRON, BRENT & REBECCA  
--OR CURRENT RESIDENT--  
1136 W 1390 SOUTH  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
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CHRISTENSEN, SUE ANN  
--OR CURRENT RESIDENT--  
1137 W 1390 SOUTH  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

WALDRON, BRENT & REBECCA  
1136 W 1390 S # 9  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
6:00 pm

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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CALDERON, CARLOS M  
--OR CURRENT RESIDENT--  
1138 W 1390 SOUTH  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
6:00 pm

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Jason Bench at (801) 229-7238  
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LILLYWHITE, ERIC C & LORENE K  
--OR CURRENT RESIDENT--  
1140 W 1390 SOUTH  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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City Council  
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1370 S LLC  
--OR CURRENT RESIDENT--  
1142 W 1390 SOUTH  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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City Council  
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JACKMAN, CARRIE  
1141 W 1390 S  
OREM, UT 84058

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or [jwbench@orem.org](mailto:jwbench@orem.org)



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BUNNELL FARMS INC  
--OR CURRENT RESIDENT--  
1185 W 1390 SOUTH  
OREM, UT 84058



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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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BECK, DANIELLE C  
1189 W 1390 S  
OREM, UT 84058

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or [jwbench@orem.org](mailto:jwbench@orem.org)



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CD NA2-5 LLC  
1195 W 1390 S  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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ELMCREST ENTERPRISES LLC  
--OR CURRENT RESIDENT--  
1191 W 1390 SOUTH  
OREM, UT 84058

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or [jwbench@orem.org](mailto:jwbench@orem.org)



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VAN OMMEREN, SHELBY  
1199 W 1390 S  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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FULLMER, AMBER  
1203 W 1390 S  
OREM, UT 84058

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or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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JONES, ROBERT I & EARLENE BARNEYCASTLE  
--OR CURRENT RESIDENT--  
983 W 1410 SOUTH  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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ROJAS, MARCELA  
981 W 1410 S  
OREM, UT 84058

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THOLEN, JON & HOLLY J  
--OR CURRENT RESIDENT--  
985 W 1410 SOUTH  
OREM, UT 84058

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GARCIA, JULIETA  
--OR CURRENT RESIDENT--  
987 W 1410 SOUTH  
OREM, UT 84058

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or [jwbench@orem.org](mailto:jwbench@orem.org)



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BROWN, VANIA  
--OR CURRENT RESIDENT--  
989 W 1410 SOUTH  
OREM, UT 84058

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or [jwbench@orem.org](mailto:jwbench@orem.org)



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GARCIA, JULIETA  
987 W 1410 S # 4  
OREM, UT 84058

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or [jwbench@orem.org](mailto:jwbench@orem.org)



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COLE, JONATHAN  
991 W 1410 S  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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MILLS, JOHN CLAY & SALLY (ET AL)  
--OR CURRENT RESIDENT--  
993 W 1410 SOUTH  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
6:00 pm

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Jason Bench at (801) 229-7238  
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JOHNSON, RILEY CRAIG  
--OR CURRENT RESIDENT--  
997 W 1410 SOUTH  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
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STEVENS, KIM R  
--OR CURRENT RESIDENT--  
995 W 1410 SOUTH  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
6:00 pm

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JOHNSON, RILEY CRAIG  
997 W 1410 S # 9  
OREM, UT 84058

City Council  
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GOODALL INVESTMENTS LLC  
--OR CURRENT RESIDENT--  
999 W 1410 SOUTH  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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PARRA, AMALIA  
1003 W 1410 S  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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WORLEY, DIANE (ET AL)  
--OR CURRENT RESIDENT--  
1001 W 1410 SOUTH  
OREM, UT 84058

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ELMCREST ENTERPRISES LLC  
--OR CURRENT RESIDENT--  
1026 W 1410 SOUTH  
OREM, UT 84058



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CHAMBERY WOODS LLC  
--OR CURRENT RESIDENT--  
1028 W 1410 SOUTH  
OREM, UT 84058

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WILKS, JARED & KELLY  
--OR CURRENT RESIDENT--  
1032 W 1410 SOUTH  
OREM, UT 84058

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GEIB, DANIEL G & JILL LINDSAY  
--OR CURRENT RESIDENT--  
1030 W 1410 SOUTH  
OREM, UT 84058

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ROBISON, CARL & JAN J  
--OR CURRENT RESIDENT--  
1034 W 1410 SOUTH  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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CHAMBERY WOODS LLC  
--OR CURRENT RESIDENT--  
1036 W 1410 SOUTH  
OREM, UT 84058

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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

PRATT, BRIAN  
--OR CURRENT RESIDENT--  
1040 W 1410 SOUTH  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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WEBB, BRYSON  
1038 W 1410 S  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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CHAMBERY WOODS UT LLC  
--OR CURRENT RESIDENT--  
1042 W 1410 SOUTH  
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For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
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CHAMBERY WOODS UT LLC  
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1044 W 1410 SOUTH  
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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
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HARTLE, DANIEL R & LARAINÉ  
1048 W 1410 S  
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For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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PRAZERES, GISELLE  
1046 W 1410 S  
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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
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CLINGER FAMILY PARTNERSHIP  
--OR CURRENT RESIDENT--  
360 W 1600 SOUTH  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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GUSTAVSON, JONATHAN & DEBORA  
898 S 2040 W  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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JOHNSON, NATHAN B & DONNA S  
1356 S GENEVA RD  
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For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
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JOHNSON, CHAD N & MANDY S  
1340 S GENEVA RD  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
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RAMIREZ, ELVIRA  
--OR CURRENT RESIDENT--  
1412 S GENEVA RD  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
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JOHNSON, CHAD NATHAN & MANDY SPICE  
(ET AL)  
--OR CURRENT RESIDENT--  
1417 S GENEVA RD  
OREM, UT 84058

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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CORP OF PRES BISHOP CHURCH OF JESUS  
CHRIST OF LDS  
--OR CURRENT RESIDENT--  
1471 S GENEVA RD  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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CHURCH OF JESUS CHRIST OF LATTER-DAY  
SAINTS THE  
--OR CURRENT RESIDENT--  
1423 S GENEVA RD  
OREM, UT 84058

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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CLINGER, EDITH S  
1493 S GENEVA RD  
OREM, UT 84058



For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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CLINGER FAMILY PARTNERSHIP  
1511 S GENEVA RD  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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JOHNSON, DALE C & CHERYL B  
1738 S GENEVA RD  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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WELCH, JOHN & DEBRA (ET AL)  
--OR CURRENT RESIDENT--  
1526 S GENEVA RD  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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1385 CHAMBERY LLC  
574 S STATE ST  
OREM, UT 84058

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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DEBBY LAURET  
641 S 1920 W  
OREM, UT 84059

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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FEICHKO, JARUM & STACI  
1163 N 580 E  
PLEASANT GROVE, UT 84062

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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1370 S LLC  
PO BOX 693  
OREM, UT 84059

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Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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RESID-ENCE PROPERTIES 3 LLC  
%JACKSON, BRIDGET ENCE  
584 S 980 W UNIT I-61  
PLEASANT GROVE, UT 84062

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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ONGOONGOTAU, HEIVAH & K SIMONE  
705 E 1170 N  
PLEASANT GROVE, UT 84062

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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MS-UTAH PROPERTIES LC  
1553 CHAPEL OAKS CIR  
SANDY, UT 84093

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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RDLO LIEG LLC  
2038 E 9060 S  
SANDY, UT 84093

For more information, contact  
Jason Bench at (801) 229-7238  
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City Council Chambers, 56 N State Street

City Council  
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HOWELL, KORBY J (ET AL)  
1102 E 7985 S  
SANDY, UT 84094

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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WILLIAMSON, WAYNE & KARLA  
3468 W EDEN VIEW DR  
SOUTH JORDAN, UT 84095

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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JACKMAN, BRADLEY JAY & VICKI LYNN  
1495 N 450 E  
OREM, UT 84097

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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GARRISON, JASON B & BARBARA  
1155 E 140 N  
OREM, UT 84097

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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DAVID SPENCER  
899 NORTH 550 EAST  
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For more information, contact  
Jason Bench at (801) 229-7238  
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CHRISTENSEN, SUE ANN  
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City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

ROBISON, CARL & JAN J  
473 S 950 E  
OREM, UT 84097

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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SEARLE, BRANDON S  
1113 E 920 N  
OREM, UT 84097

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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MAYOR RICHARD F. BRUNST, JR.  
900 E HIGH COUNTRY DRIVE  
OREM, UT 84097-2389



For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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TERRY PETERSON  
1125 LYNNWOOD DRIVE  
OREM, UT 84097

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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THOMAS MACDONALD  
489 NORTH PALISADES DR  
OREM, UT 84097

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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PIRATES' CHEST LLC  
%CRAWFORD, GARY  
79 N PALISADES DR  
OREM, UT 84097

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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City Council  
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PALATIAL LIVING LLC  
241 N VINE ST # 1004 W  
SALT LAKE CITY, UT 84103

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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City Council  
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UTAH STATE DEPT OF NATURAL RESOURCES  
%DIVISION OF WILDLIFE  
1596 W NORTH TEMPLE  
SALT LAKE CITY, UT 84116

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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WELCH, JOHN & DEBRA (ET AL)  
5148 S COTTONWOOD LN  
SALT LAKE CITY, UT 84117

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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OAKHURST APARTMENTS LLC  
%SHUPE, PAUL  
5086 S 2050 E  
SALT LAKE CITY, UT 84117

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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UTAH DEPARTMENT OF TRANSPORTATION  
4501 S 2700 W  
WEST VALLEY CITY, UT 84119

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

LEROY, DANIEL C & JANIE R (ET AL)  
8973 KINGS HILL DR  
COTTONWOOD HEIGHTS, UT 84121

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

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CORP OF PRES BISHOP CHURCH OF JESUS  
CHRIST OF LDS  
50 E NORTH TEMPLE FL 12TH  
SALT LAKE CITY, UT 84150

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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UTAH TRANSIT AUTHORITY  
%PROPERTY MANAGEMENT  
PO BOX 30810  
SALT LAKE CITY, UT 84130

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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GEIB, DANIEL G & JILL LINDSAY  
971 N 100W # 103  
LOGAN, UT 84321

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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MARKIDES, MARIO D  
2188 W 470 S  
PROVO, UT 84601

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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SHUMWAY, PATRICK W & CORINNE M (ET AL)  
2424 W 800 N  
PROVO, UT 84601

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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ELMCREST ENTERPRISES LLC  
2594 W 500 N  
PROVO, UT 84601

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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CHACON 1060 WEST LLC  
156 S 1470 W  
PROVO, UT 84601

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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BUNNELL FARMS INC  
1723 N GENEVA RD  
PROVO, UT 84601

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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CHAMBERY WOODS LLC  
5132 N 300 W STE 100  
PROVO, UT 84604

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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CENTRAL BANK (ET AL)  
%SELF DIRECTED RETIREMENT SERVICES  
75 N UNIVERSITY AVE  
PROVO, UT 84601

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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REDD, BRANDT & JULIE  
2125 N 1450 E  
PROVO, UT 84604



For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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PRATT, BRIAN  
4672 BROOKSHIRE CIR  
PROVO, UT 84604

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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COMMON AREA  
100 E CENTER  
PROVO, UT 84604

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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PETERSON, COLEEN  
4675 BROOKSHIRE CIR  
PROVO, UT 84604

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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BROWN, VANIA  
4353 MILE HIGH DR  
PROVO, UT 84604

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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COMMON AREA  
100 E CENTER  
PROVO, UT 84606

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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HASTRITER, MICHAEL WAYNE & PAULINE  
LORRAINE (ET AL)  
1745 S NEVADA AVE  
PROVO, UT 84606

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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LEITE, SERGIO DA COSTA  
%CABRAL, OSIRIS  
1336 CINNAMON RIDGE CIR  
PROVO, UT 84606

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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KIDD PROPERTIES LLC  
863 E 200 N  
NEPHI, UT 84648

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
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JEEMA III LLC  
470 S 200 W  
SALEM, UT 84653

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

JACKSON, WAYNE R & HOLLY W  
997 E 40 N  
SPRINGVILLE, UT 84663

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



City Council Chambers, 56 N State Street

City Council  
Tue, Apr 14, 2020  
6:00 pm

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BROWN, WILLIAM NEIL & CHRISTINE  
747 N MAIN ST  
GENOLA, UT 84655

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

VILLALOBOS, EFRAIN  
1801 E CRANBERRY WY  
SPRINGVILLE, UT 84663

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

BRYANT, THOMAS & MARILYN A  
PO BOX 2118  
PAGE, AZ 86040

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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WIESE, JERRY A II & KRISTINE D (ET AL)  
7131 SUDLEY CT  
LAS VEGAS, NV 89131

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

JONES, ROBERT I & EARLENE BARNEYCASTLE  
2120 N APACHE DR  
KINGMAN, AZ 86401

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

MILLS, JOHN CLAY & SALLY (ET AL)  
780 SHEEP CREEK RD  
BATTLE MOUNTAIN, NV 89820

City Council  
Tue, Apr 14, 2020  
6:00 pm

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

KAVANAGH, KEVIN F & DEBRA D  
24235 VALLEY ST  
NEWHALL, CA 91321

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

SANDERS, DAVID L  
15097 OSCEOLA RD  
APPLE VALLEY, CA 92307

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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WILKINSON, KEVIN LYNN & SHARON LUNT  
(ET AL)  
1099 1ST ST UNIT 420  
CORONADO, CA 92118

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

HOLDING, TINA RENEE  
709 MARINELLA ISLE  
IRVINE, CA 92606

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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SCHICK, MICHAEL T  
2708 LA PAZ RD # 17  
ALISO VIEJO, CA 92656

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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Additional information can be viewed on [orem.org/planning](http://orem.org/planning) under “Current Planning (Public Hearing Noticing)” tab.

WARD, BENJAMIN M & BROOKE (ET AL)  
14305 SPYGLASS CIR  
CHOWCHILLA, CA 93610

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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TILDEN, ROGER B & VALERIE J (ET AL)  
4342 SUNGATE DR  
PALMDALE, CA 93551

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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ATHERLY, WILLIAM SCOTT & PEGGY G  
4403 BONNEVILLE CIR  
ROCKLIN, CA 95677



For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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TEJADA, MICHAEL P & JUANITA K (ET AL)  
PO BOX 118  
KAHUKU, HI 96731

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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GRAHAM, PHILLIP JAMES & ALLISON  
1121 DEVON LN  
LAKE OSWEGO, OR 97034

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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SUMMERS, DAVID & LEUTE  
4999 KAHALA AVE APT 241  
HONOLULU, HI 96816

For more information, contact  
Jason Bench at (801) 229-7238  
or [jwbench@orem.org](mailto:jwbench@orem.org)



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BEESON, SAMUEL M  
21635 NE 14TH PL  
SAMMAMISH, WA 98074

To minimize the potential spread of COVID-19, NOTICE OF ALL-ELECTRONIC MEETING

To minimize the potential spread of COVID-19, and as authorized by Utah Governor Gary Herbert's March 18, 2020 Executive Order, the Orem City Council meeting on April 14, 2020 will be an all-electronic meeting. There will be no public access to the Orem City Council chambers. Those desiring to view or participate in the meeting must do so electronically. You can view the meeting live at [orem.org/meetings](https://orem.org/meetings). If you want to make a comment, please use: [orem.org/comments](https://orem.org/comments) or [CityCouncilPublicComments@orem.org](mailto:CityCouncilPublicComments@orem.org)

Comments will be accepted before and during the meeting. All comments received will be read into the record during the live meeting. Once an item has been voted on, that item will be closed to additional comments. Thank you for your cooperation during these challenging times.

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LILLYWHITE, ERIC C & LORENE K  
C/O 2670 E 1650 N  
LAYTON, UT 84040

TEJADA, MICHAEL P & JUANITA K  
(ET AL)  
PO BOX 118  
KAHUKU, HI 96731

DEAVER, TOMMY F & VICTORIA  
PO BOX 1443  
MIDWAY, UT 84049

BRYANT, THOMAS & MARILYN A  
PO BOX 2118  
PAGE, AZ 86040

UTAH TRANSIT AUTHORITY  
%PROPERTY MANAGEMENT  
PO BOX 30810  
SALT LAKE CITY, UT 84130

1370 S LLC  
PO BOX 693  
OREM, UT 84059

T&K RESIDENTIAL HOLDINGS LLC  
PO BOX 772  
AMERICAN FORK, UT 84003

CHRISTENSON, LARRY & MARVA (ET  
AL)  
38 W 208 S  
BURLEY, ID 83318

CORP OF PRES BISHOP CHURCH OF  
JESUS CHRIST OF LDS  
50 E NORTH TEMPLE FL 12TH  
SALT LAKE CITY, UT 84150

KRISTIE SNYDER  
56 N STATE STREET  
OREM, UT 84057

LEXINGTON COVE DEVELOPMENT  
LLC  
72 E 710 N  
LINDON, UT 84042

CENTRAL BANK (ET AL)  
%SELF DIRECTED RETIREMENT  
SERVICES  
75 N UNIVERSITY AVE  
PROVO, UT 84601

PIRATES' CHEST LLC  
%CRAWFORD, GARY  
79 N PALISADES DR  
OREM, UT 84097

BENNION, DONALD D & AMY P  
93 N 960 E  
AMERICAN FORK, UT 84003

COMMON AREA  
100 E CENTER  
PROVO, UT 84604

COMMON AREA  
100 E CENTER  
PROVO, UT 84606

MCCANN INVESTMENTS LLC  
122 N MAIN ST  
LINDON, UT 84042

CORDOVA, KENNETH  
138 E 12300 S STE C  
DRAPER, UT 84020

BEARDALL, C DARRELL (ET AL)  
147 S 1060 E  
AMERICAN FORK, UT 84003

GLAZIER, SCOTT B & MAXINE Y  
152 W 640 N  
AMERICAN FORK, UT 84003

JEFF LAMBSON  
156 E 1060 N  
OREM, UT 84057

CHACON 1060 WEST LLC  
156 S 1470 W  
PROVO, UT 84601

GRIFFETH, DOREEN R & ROBERT G  
203 OLD AVERY CT  
CANTON, GA 30115

CRAPO, JOSEPH R & STACY D  
218 BIRCHWOOD DR  
WEST CHESTER, PA 19380

PALATIAL LIVING LLC  
241 N VINE ST # 1004 W  
SALT LAKE CITY, UT 84103

CLINGER FAMILY PARTNERSHIP  
--OR CURRENT RESIDENT--  
360 W 1600 SOUTH  
OREM, UT 84058

OREM R LLC  
387 W 700 N  
LINDON, UT 84042

MKA HOLDINGS LLC  
%ANDERTON, MICHAEL  
389 SUNRISE DR  
ALPINE, UT 84004

GILLMAN, KEVIN & LISA  
390 N GILLMAN LN  
LINDON, UT 84042

ANDERSON, JULIE S  
421 N 600 E  
LINDON, UT 84042

JEEMA III LLC  
470 S 200 W  
SALEM, UT 84653

ROBISON, CARL & JAN J  
473 S 950 E  
OREM, UT 84097

THOMAS MACDONALD  
489 NORTH PALISADES DR  
OREM, UT 84097

LEHNARDT, RUEDIGER K R & L  
CAREL  
491 W 700 S  
OREM, UT 84058

1385 CHAMBERY LLC  
574 S STATE ST  
OREM, UT 84058

RESID-ENCE PROPERTIES 3 LLC  
%JACKSON, BRIDGET ENCE  
584 S 980 W UNIT I-61  
PLEASANT GROVE, UT 84062

SMITH, JASON K  
592 N 1510 W  
LINDON, UT 84042

TOMLINSON, LOWELL TODD &  
LUETTE  
631 N LOCUST AV  
LINDON, UT 84042

DEBBY LAURET  
641 S 1920 W  
OREM, UT 84059

ONGOONGOTAU, HEIVAHA & K  
SIMONE  
705 E 1170 N  
PLEASANT GROVE, UT 84062

HOLDING, TINA RENEE  
709 MARINELLA ISLE  
IRVINE, CA 92606

KC BAKER INC  
720 E 1725 N  
LEHI, UT 84043

BRENT SUMNER  
744 WEST 550 SOUTH  
OREM, UT 84058

BROWN, WILLIAM NEIL &  
CHRISTINE  
747 N MAIN ST  
GENOLA, UT 84655

COUNTRY WOODS LC  
758 S 400 E # 203  
OREM, UT 84058

ZABEL, NANCY L  
769 N 480 W  
OREM, UT 84057

MILLS, JOHN CLAY & SALLY (ET AL)  
780 SHEEP CREEK RD  
BATTLE MOUNTAIN, NV 89820

VOVIN HOLDINGS LLC  
802 COUNTRY LN  
FARMINGTON, UT 84025

KIDD PROPERTIES LLC  
863 E 200 N  
NEPHI, UT 84648

ORTON, ROB S & TIA R  
878 W SNICKERS LN  
MIDVALE, UT 84047

GUSTAVSON, JONATHAN & DEBORA  
898 S 2040 W  
OREM, UT 84058

DAVID SPENCER  
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OREM, UT 84097

MAYOR RICHARD F. BRUNST, JR.  
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OREM, UT 84097-2389

CALDERON, CARLOS MARTIN  
915 BRYAN DR  
APEX, NC 27502

LUX, LAVAU & JEAN  
938 SPRING HILL RD  
POPLARVILLE, MS 39470

CHRISTENSEN, SUE ANN  
962 E 720 N  
OREM, UT 84097

GEIB, DANIEL G & JILL LINDSAY  
971 N 100 W # 103  
LOGAN, UT 84321

BLUNCK, KENDAL (ET AL)  
976 W 840 N  
AMERICAN FORK, UT 84003

ROJAS, MARCELA  
981 W 1410 S  
OREM, UT 84058

JONES, ROBERT I & EARLENE  
BARNEYCASTLE  
--OR CURRENT RESIDENT--  
983 W 1410 SOUTH  
OREM, UT 84058

THOLEN, JON & HOLLY J  
--OR CURRENT RESIDENT--  
985 W 1410 SOUTH  
OREM, UT 84058

GARCIA, JULIETA  
--OR CURRENT RESIDENT--  
987 W 1410 SOUTH  
OREM, UT 84058

GARCIA, JULIETA  
987 W 1410 S # 4  
OREM, UT 84058

BROWN, VANIA  
--OR CURRENT RESIDENT--  
989 W 1410 SOUTH  
OREM, UT 84058

COLE, JONATHAN  
991 W 1410 S  
OREM, UT 84058

MILLS, JOHN CLAY & SALLY (ET AL)  
--OR CURRENT RESIDENT--  
993 W 1410 SOUTH  
OREM, UT 84058

STEVENS, KIM R  
--OR CURRENT RESIDENT--  
995 W 1410 SOUTH  
OREM, UT 84058

JACKSON, WAYNE R & HOLLY W  
997 E 40 N  
SPRINGVILLE, UT 84663

JOHNSON, RILEY CRAIG  
--OR CURRENT RESIDENT--  
997 W 1410 SOUTH  
OREM, UT 84058

JOHNSON, RILEY CRAIG  
997 W 1410 S # 9  
OREM, UT 84058

GOODALL INVESTMENTS LLC  
--OR CURRENT RESIDENT--  
999 W 1410 SOUTH  
OREM, UT 84058

WORLEY, DIANE (ET AL)  
--OR CURRENT RESIDENT--  
1001 W 1410 SOUTH  
OREM, UT 84058

PARRA, AMALIA  
1003 W 1410 S  
OREM, UT 84058

SUMMERS, DAVID & LEUTE  
--OR CURRENT RESIDENT--  
1004 W 1360 SOUTH  
OREM, UT 84058

CORDOVA, KENNETH  
--OR CURRENT RESIDENT--  
1006 W 1360 SOUTH  
OREM, UT 84058

ATHERLY, WILLIAM SCOTT & PEGGY  
G  
--OR CURRENT RESIDENT--  
1008 W 1360 SOUTH  
OREM, UT 84058

WILKINSON, KEVIN LYNN &  
SHARON LUNT (ET AL)  
--OR CURRENT RESIDENT--  
1010 W 1360 SOUTH  
OREM, UT 84058

JEEMA LLC  
--OR CURRENT RESIDENT--  
1012 W 1360 SOUTH  
OREM, UT 84058

JEEMA IV LLC  
--OR CURRENT RESIDENT--  
1014 W 1360 SOUTH  
OREM, UT 84058

ORTON, ROB S & TIA R  
--OR CURRENT RESIDENT--  
1016 W 1360 SOUTH  
OREM, UT 84058

PIRATES' CHEST LLC  
--OR CURRENT RESIDENT--  
1018 W 1360 SOUTH  
OREM, UT 84058

JOHNSON, MAREN & DAVID  
1020 W 1360 S  
OREM, UT 84058

PAYNE, WILLIAM COLE & WILLIAM  
WADE  
1022 W 1360 S  
OREM, UT 84058

TEJADA, MICHAEL P & JUANITA K  
(ET AL)  
--OR CURRENT RESIDENT--  
1023 W 1360 SOUTH  
OREM, UT 84058

GRAHAM, PHILLIP JAMES & ALLISON  
1024 W 1360 S  
OREM, UT 84058

RESID-ENCE PROPERTIES 3 LLC  
--OR CURRENT RESIDENT--  
1025 W 1360 SOUTH  
OREM, UT 84058

BEESON, SAMUEL M  
--OR CURRENT RESIDENT--  
1026 W 1360 SOUTH  
OREM, UT 84058

ELMCREST ENTERPRISES LLC  
--OR CURRENT RESIDENT--  
1026 W 1410 SOUTH  
OREM, UT 84058

WIESE, JERRY A II & KRISTINE D (ET  
AL)  
--OR CURRENT RESIDENT--  
1027 W 1360 SOUTH  
OREM, UT 84058

CHAMBERY WOODS LLC  
--OR CURRENT RESIDENT--  
1028 W 1410 SOUTH  
OREM, UT 84058

PARRY, NICOLE  
--OR CURRENT RESIDENT--  
1029 W 1360 SOUTH  
OREM, UT 84058

GEIB, DANIEL G & JILL LINDSAY  
--OR CURRENT RESIDENT--  
1030 W 1410 SOUTH  
OREM, UT 84058

WILKS, JARED & KELLY  
--OR CURRENT RESIDENT--  
1032 W 1410 SOUTH  
OREM, UT 84058

PETERSON, COLEEN  
--OR CURRENT RESIDENT--  
1033 W 1360 SOUTH  
OREM, UT 84058

ROBISON, CARL & JAN J  
--OR CURRENT RESIDENT--  
1034 W 1410 SOUTH  
OREM, UT 84058

WIESE, JERRY A II & KRISTINE D (ET AL)  
--OR CURRENT RESIDENT--  
1035 W 1360 SOUTH  
OREM, UT 84058

CHAMBERY WOODS LLC  
--OR CURRENT RESIDENT--  
1036 W 1410 SOUTH  
OREM, UT 84058

ROWLEY, SHERI  
1037 W 1360 S  
OREM, UT 84058

WEBB, BRYSON  
1038 W 1410 S  
OREM, UT 84058

STEPHENSON, BRENT D  
1039 W 1360 S  
OREM, UT 84058

HASTRITER, MICHAEL WAYNE & PAULINE LORRAINE (ET AL)  
--OR CURRENT RESIDENT--  
1040 W 1360 SOUTH  
OREM, UT 84058

PRATT, BRIAN  
--OR CURRENT RESIDENT--  
1040 W 1410 SOUTH  
OREM, UT 84058

KAVANAGH, KEVIN F & DEBRA D  
--OR CURRENT RESIDENT--  
1042 W 1360 SOUTH  
OREM, UT 84058

CHAMBERY WOODS UT LLC  
--OR CURRENT RESIDENT--  
1042 W 1410 SOUTH  
OREM, UT 84058

JACKSON, WAYNE R & HOLLY W  
--OR CURRENT RESIDENT--  
1044 W 1360 SOUTH  
OREM, UT 84058

CHAMBERY WOODS UT LLC  
--OR CURRENT RESIDENT--  
1044 W 1410 SOUTH  
OREM, UT 84058

ROBISON, CARL WAYNE & JAN J  
--OR CURRENT RESIDENT--  
1046 W 1360 SOUTH  
OREM, UT 84058

PRAZERES, GISELLE  
1046 W 1410 S  
OREM, UT 84058

MUNIZ, JEFF  
--OR CURRENT RESIDENT--  
1048 W 1360 SOUTH  
OREM, UT 84058

HARTLE, DANIEL R & LARAINÉ  
1048 W 1410 S  
OREM, UT 84058

LEHNARDT, RUEDIGER K R & L CAREL  
--OR CURRENT RESIDENT--  
1050 W 1360 SOUTH  
OREM, UT 84058

TILDEN, ROGER B & VALERIE J (ET AL)  
--OR CURRENT RESIDENT--  
1052 W 1360 SOUTH  
OREM, UT 84058

CARSON, EVAN (ET AL)  
1054 W 1360 S  
OREM, UT 84058

MATHUSEK, EMILY  
1056 W 1360 S  
OREM, UT 84058

JOHNSON, MARGIE K  
--OR CURRENT RESIDENT--  
1058 W 1360 SOUTH  
OREM, UT 84058

CHACON 1060 WEST LLC  
--OR CURRENT RESIDENT--  
1060 W 1360 SOUTH  
OREM, UT 84058

CALNEAL WEST LLC  
--OR CURRENT RESIDENT--  
1061 W 1360 SOUTH  
OREM, UT 84058

HALES, THOMAS & KRISTIN  
1062 W 1360 S  
OREM, UT 84058

CALNEAL WEST LLC  
--OR CURRENT RESIDENT--  
1063 W 1360 SOUTH  
OREM, UT 84058

CALNEAL WEST LLC  
--OR CURRENT RESIDENT--  
1065 W 1360 SOUTH  
OREM, UT 84058



JEEMA II LLC  
--OR CURRENT RESIDENT--  
1066 W 1360 SOUTH  
OREM, UT 84058

CALNEAL WEST LLC  
--OR CURRENT RESIDENT--  
1067 W 1360 SOUTH  
OREM, UT 84058

HALVERSEN, BRANDON  
1068 W 1360 S  
OREM, UT 84058

GRAHAM, PHILLIP JAMES & ALLISON  
--OR CURRENT RESIDENT--  
1070 W 1360 SOUTH  
OREM, UT 84058

MCCANN INVESTMENTS LLC  
--OR CURRENT RESIDENT--  
1071 W 1360 SOUTH  
OREM, UT 84058

BEARDALL, C DARRELL (ET AL)  
--OR CURRENT RESIDENT--  
1072 W 1360 SOUTH  
OREM, UT 84058

MCCANN INVESTMENTS LLC  
--OR CURRENT RESIDENT--  
1073 W 1360 SOUTH  
OREM, UT 84058

JEEMA III LLC  
--OR CURRENT RESIDENT--  
1074 W 1360 SOUTH  
OREM, UT 84058

MCCANN INVESTMENTS LLC  
--OR CURRENT RESIDENT--  
1075 W 1360 SOUTH  
OREM, UT 84058

FEICHKO, JARUM & STACI  
--OR CURRENT RESIDENT--  
1076 W 1360 SOUTH  
OREM, UT 84058

MCCANN INVESTMENTS LLC  
--OR CURRENT RESIDENT--  
1077 W 1360 SOUTH  
OREM, UT 84058

GEIB, DANIEL G & JILL LINDSAY  
--OR CURRENT RESIDENT--  
1078 W 1360 SOUTH  
OREM, UT 84058

GRIFFETH, DOREEN R & ROBERT G  
--OR CURRENT RESIDENT--  
1080 W 1360 SOUTH  
OREM, UT 84058

VICKERS, MARCUS W & C WAYNE  
1082 W 1360 S  
OREM, UT 84058

MKA HOLDINGS LLC  
--OR CURRENT RESIDENT--  
1084 W 1360 SOUTH  
OREM, UT 84058

BOWERS, ELIZABETH  
--OR CURRENT RESIDENT--  
1086 W 1360 SOUTH  
OREM, UT 84058

SARIBAY, GLICERIO NELSON (ET AL)  
1088 W 1360 S  
OREM, UT 84058

WILKINSON, KEVIN LYNN &  
SHARON LUNT (ET AL)  
1099 1ST ST UNIT 420  
CORONADO, CA 92118

HOWELL, KORBY J (ET AL)  
1102 E 7985 S  
SANDY, UT 84094

VILLALOBOS, EFRAIN  
--OR CURRENT RESIDENT--  
1105 W 1390 SOUTH  
OREM, UT 84058

LAMBERT, PATRICIA V  
--OR CURRENT RESIDENT--  
1109 W 1390 SOUTH  
OREM, UT 84058

OAKHURST APARTMENTS LLC  
--OR CURRENT RESIDENT--  
1110 W 1315 SOUTH  
OREM, UT 84058

SEARLE, BRANDON S  
1113 E 920 N  
OREM, UT 84097

MILLER, DEE  
1113 W 1390 S  
OREM, UT 84058

WEIR, MARY SHEPHERD  
1117 W 1390 S  
OREM, UT 84058

BACTISTA, AARON L  
1120 W 1390 S  
OREM, UT 84058

GRAHAM, PHILLIP JAMES & ALLISON  
1121 DEVON LN  
LAKE OSWEGO, OR 97034

ANDERSON, JULIE S  
--OR CURRENT RESIDENT--  
1121 W 1390 SOUTH  
OREM, UT 84058

MURIE, LANDON (ET AL)  
1122 W 1390 S  
OREM, UT 84058

BEARDALL, C DARRELL (ET AL)  
--OR CURRENT RESIDENT--  
1124 W 1390 SOUTH  
OREM, UT 84058

TERRY PETERSON  
1125 LYNNWOOD DRIVE  
OREM, UT 84097

MCARTHUR, DAVID S & MYRA G  
1125 W 1335 S  
OREM, UT 84058

HEMSLEY, MICHAEL D  
1125 W 1390 S  
OREM, UT 84058

JACOBSON, VIRGINIA  
--OR CURRENT RESIDENT--  
1126 W 1390 SOUTH  
OREM, UT 84058

JOHNSON, CHAD N & MANDY S  
--OR CURRENT RESIDENT--  
1127 W 1335 SOUTH  
OREM, UT 84058

REAM, JOSEPH JAMES & KAY S  
--OR CURRENT RESIDENT--  
1128 W 1390 SOUTH  
OREM, UT 84058

MOORE, RYAN G  
1129 W 1335 S  
OREM, UT 84058

PETIT, YANN J & SHARON L  
1129 W 1390 S  
OREM, UT 84058

BASS, KENNETH WILLIAM &  
KENNETH DWAYNE  
1130 W 1390 S  
OREM, UT 84058

CHAMBERY WOODS LLC  
--OR CURRENT RESIDENT--  
1131 W 1335 SOUTH  
OREM, UT 84058

GROW, BRET SAMUEL DAWSON II &  
SYLVIA KAYE  
1132 W 1390 S  
OREM, UT 84058

CENTRAL BANK (ET AL)  
--OR CURRENT RESIDENT--  
1133 W 1335 SOUTH  
OREM, UT 84058

REDD, BRANDT & JULIE  
--OR CURRENT RESIDENT--  
1133 W 1390 SOUTH  
OREM, UT 84058

CHAMBERY WOODS LLC  
--OR CURRENT RESIDENT--  
1134 W 1390 SOUTH  
OREM, UT 84058

DEAVER, TOMMY F & VICTORIA  
--OR CURRENT RESIDENT--  
1135 W 1335 SOUTH  
OREM, UT 84058

WALDRON, BRENT & REBECCA  
--OR CURRENT RESIDENT--  
1136 W 1390 SOUTH  
OREM, UT 84058

WALDRON, BRENT & REBECCA  
1136 W 1390 S # 9  
OREM, UT 84058

BAIRD HOLDINGS LLC  
--OR CURRENT RESIDENT--  
1137 W 1335 SOUTH  
OREM, UT 84058

CHRISTENSEN, SUE ANN  
--OR CURRENT RESIDENT--  
1137 W 1390 SOUTH  
OREM, UT 84058

CALDERON, CARLOS M  
--OR CURRENT RESIDENT--  
1138 W 1390 SOUTH  
OREM, UT 84058

SAKAMOTO, COREY & SUSAN  
1139 W 1335 S  
OREM, UT 84058

LILLYWHITE, ERIC C & LORENE K  
--OR CURRENT RESIDENT--  
1140 W 1390 SOUTH  
OREM, UT 84058

TOMLINSON, LOWELL TODD &  
LUETTE  
--OR CURRENT RESIDENT--  
1141 W 1335 SOUTH  
OREM, UT 84058

JACKMAN, CARRIE  
1141 W 1390 S  
OREM, UT 84058

1370 S LLC  
--OR CURRENT RESIDENT--  
1142 W 1390 SOUTH  
OREM, UT 84058

BLUNCK, KENDAL (ET AL)  
--OR CURRENT RESIDENT--  
1143 W 1335 SOUTH  
OREM, UT 84058

SEARLE, BRANDON S  
--OR CURRENT RESIDENT--  
1145 W 1335 SOUTH  
OREM, UT 84058

MAXWELL, JORDAN  
1147 W 1335 S  
OREM, UT 84058

GARRISON, JASON B & BARBARA  
1155 E 140 N  
OREM, UT 84097

LEXINGTON COVE DEVELOPMENT  
LLC  
--OR CURRENT RESIDENT--  
1155 W 1330 SOUTH  
OREM, UT 84058

SANDERS, DAVID L  
--OR CURRENT RESIDENT--  
1159 W 1330 SOUTH  
OREM, UT 84058

FEICHKO, JARUM & STACI  
1163 N 580 E  
PLEASANT GROVE, UT 84062

TOBLER, AARON J & SHELBY L  
1163 W 1330 S  
OREM, UT 84058

MARKIDES, MARIO D  
--OR CURRENT RESIDENT--  
1167 W 1330 SOUTH  
OREM, UT 84058

WILLIAMSON, ROBERT MICHAEL &  
KYLEIGH JO  
1171 W 1330 S  
OREM, UT 84058

T&K RESIDENTIAL HOLDINGS LLC  
--OR CURRENT RESIDENT--  
1177 W 1330 SOUTH  
OREM, UT 84058

BUNNELL FARMS INC  
--OR CURRENT RESIDENT--  
1185 W 1390 SOUTH  
OREM, UT 84058

BECK, DANIELLE C  
1189 W 1390 S  
OREM, UT 84058

ELMCREST ENTERPRISES LLC  
--OR CURRENT RESIDENT--  
1191 W 1390 SOUTH  
OREM, UT 84058

CD NA2-5 LLC  
1195 W 1390 S  
OREM, UT 84058

VAN OMMEREN, SHELBY  
1199 W 1390 S  
OREM, UT 84058

FULLMER, AMBER  
1203 W 1390 S  
OREM, UT 84058

HC PACIFIC PROPERTIES LLC  
1253 E 60 S  
LINDON, UT 84042

WILLIAMS, LISA H  
%HALES, LISA J  
1328 S MEADOW CREST WAY  
SARATOGA SPRINGS, UT 84045

LEITE, SERGIO DA COSTA  
%CABRAL, OSIRIS  
1336 CINNAMON RIDGE CIR  
PROVO, UT 84606

HC PACIFIC PROPERTIES LLC  
--OR CURRENT RESIDENT--  
1339 S 1110 WEST  
OREM, UT 84058

JOHNSON, CHAD N & MANDY S  
1340 S GENEVA RD  
OREM, UT 84058

STRONG, BENJAMIN W  
1341 S 1110 W  
OREM, UT 84058

LOCKE, NICK  
1342 S 1220 W  
OREM, UT 84058

PALMER, BOYD ERVIN & KRISTIN  
PETERSON  
1343 S 1110 W  
OREM, UT 84058

DEAVER, TOMMY F & VICTORIA  
--OR CURRENT RESIDENT--  
1345 S 1110 WEST  
OREM, UT 84058

GUSTAFSON, STUART R  
1346 S 1220 W  
OREM, UT 84058

LUX, LAVAU & JEAN  
--OR CURRENT RESIDENT--  
1347 S 1110 WEST  
OREM, UT 84058

PALATIAL LIVING LLC  
--OR CURRENT RESIDENT--  
1349 S 1110 WEST  
OREM, UT 84058

GARRISON, JASON B & BARBARA  
--OR CURRENT RESIDENT--  
1350 S 1220 WEST  
OREM, UT 84058

CERQUEIRA, LUIZ F  
1351 S 1110 W  
OREM, UT 84058

1370 S LLC  
--OR CURRENT RESIDENT--  
1353 S 1110 WEST  
OREM, UT 84058

LEROY, DANIEL C & JANIE R (ET AL)  
--OR CURRENT RESIDENT--  
1354 S 1220 WEST  
OREM, UT 84058

KC BAKER INC  
--OR CURRENT RESIDENT--  
1355 S 1110 WEST  
OREM, UT 84058

PETIT, YANN & SHARON  
--OR CURRENT RESIDENT--  
1356 S 1190 WEST  
OREM, UT 84058

JOHNSON, NATHAN B & DONNA S  
1356 S GENEVA RD  
OREM, UT 84058

PETIT, YANN & SHARON  
1356 S 1190 W # 1  
OREM, UT 84058

SCHICK, MICHAEL T  
--OR CURRENT RESIDENT--  
1357 S 1110 WEST  
OREM, UT 84058

CALDERON, CARLOS MARTIN  
--OR CURRENT RESIDENT--  
1358 S 1150 WEST  
OREM, UT 84058

HASSEY, MARK C  
--OR CURRENT RESIDENT--  
1359 S 1110 WEST  
OREM, UT 84058

GILLMAN, KEVIN & LISA  
--OR CURRENT RESIDENT--  
1360 S 1150 WEST  
OREM, UT 84058

KURZINSKI, ARON  
1360 S 1190 W  
OREM, UT 84058

ONGOONGOTAU, HEIVAH & K  
SIMONE  
--OR CURRENT RESIDENT--  
1361 S 1110 WEST  
OREM, UT 84058

BROWN, WILLIAM NEIL &  
CHRISTINE  
--OR CURRENT RESIDENT--  
1362 S 1150 WEST  
OREM, UT 84058

WARNKE, JENNIFER L & MATTHEW  
SHAWN  
1362 S 1190 W  
OREM, UT 84058

BRYANT, THOMAS & MARILYN A  
--OR CURRENT RESIDENT--  
1363 S 1150 WEST  
OREM, UT 84058

GUSTAVSON, JONATHAN & DEBORA  
--OR CURRENT RESIDENT--  
1364 S 1150 WEST  
OREM, UT 84058

HASSEY, MARK C  
--OR CURRENT RESIDENT--  
1365 S 1110 WEST  
OREM, UT 84058

FLORENCE, CHRISTOPHER S  
1365 S 1150 W  
OREM, UT 84058

WARBURTON, JARED LYNN  
--OR CURRENT RESIDENT--  
1366 S 1150 WEST  
OREM, UT 84058

REAM, JOSEPH JAMES & KAY S  
--OR CURRENT RESIDENT--  
1367 S 1110 WEST  
OREM, UT 84058

PETIT, YANN & SHARON  
1367 S 1150 W  
OREM, UT 84058

WARD, BENJAMIN M & BROOKE (ET  
AL)  
--OR CURRENT RESIDENT--  
1368 S 1150 WEST  
OREM, UT 84058

SCHRECK, KAELA  
1368 S 1190 W  
OREM, UT 84058

DEAVER, TOMMY F & VICTORIA  
--OR CURRENT RESIDENT--  
1369 S 1110 WEST  
OREM, UT 84058

HENRY, JONATHON J  
--OR CURRENT RESIDENT--  
1369 S 1150 WEST  
OREM, UT 84058

HENRY, JONATHON J  
1369 S 1150 W # 4  
OREM, UT 84058

1370 S LLC  
--OR CURRENT RESIDENT--  
1370 S 1150 WEST  
OREM, UT 84058

ARRIETA, JESUS & SOLEDAD (ET AL)  
--OR CURRENT RESIDENT--  
1371 S 1110 WEST  
OREM, UT 84058

ELMCREST ENTERPRISES LLC  
--OR CURRENT RESIDENT--  
1371 S 1150 WEST  
OREM, UT 84058

REID, LENORA  
1371 S 1220 W  
OREM, UT 84058

CHRISTENSON, LARRY & MARVA (ET  
AL)  
--OR CURRENT RESIDENT--  
1372 S 1150 WEST  
OREM, UT 84058

WILLIAMS, LISA H  
--OR CURRENT RESIDENT--  
1372 S 1220 WEST  
OREM, UT 84058

NAYLOR, BRET & MELINDA  
1373 S 1110 WEST 5F  
OREM, UT 84058

NAYLOR, BRET & MELINDA  
--OR CURRENT RESIDENT--  
1373 S 1110 WEST  
OREM, UT 84058

RDLO LIEG LLC  
--OR CURRENT RESIDENT--  
1373 S 1150 WEST  
OREM, UT 84058

WILLIAMS, SHANNON ELIZABETH  
1374 S 1150 W  
OREM, UT 84058

CARDENAS, MIRIAM F GARCIA  
1375 S 1110 W  
OREM, UT 84058

ZARRAHONANDIA, ELOISA A (ET AL)  
1375 S 1150 W  
OREM, UT 84058

CHAMBERY WOODS LLC  
--OR CURRENT RESIDENT--  
1376 S 1150 WEST  
OREM, UT 84058

WEINGARTEN, ROBERT A & MARAIA  
T (ET AL)  
1377 S 1110 W  
OREM, UT 84058

SIMMONS, SAMUEL  
1377 S 1150 W  
OREM, UT 84058

ELMCREST ENTERPRISES LLC  
--OR CURRENT RESIDENT--  
1377 S 1220 WEST  
OREM, UT 84058

OREM R LLC  
--OR CURRENT RESIDENT--  
1378 S 1150 WEST  
OREM, UT 84058

HOLDING, TINA RENEE  
--OR CURRENT RESIDENT--  
1378 S 1220 WEST  
OREM, UT 84058

POTEAT, LEONANI N  
1379 S 1110 W  
OREM, UT 84058

BECKETT, PAUL & MELISSA  
1379 S 1150 W  
OREM, UT 84058

KOHLER, SETH & CURTIS M  
--OR CURRENT RESIDENT--  
1380 S 1150 WEST  
OREM, UT 84058

CRAPO, JOSEPH R & STACY D  
--OR CURRENT RESIDENT--  
1381 S 1110 WEST  
OREM, UT 84058

KRYUKOVA, GALINA (ET AL)  
1381 S 1150 W  
OREM, UT 84058

ROSE, DALE P  
--OR CURRENT RESIDENT--  
1381 S 1220 WEST  
OREM, UT 84058

LEITE, SERGIO DA COSTA  
--OR CURRENT RESIDENT--  
1382 S 1220 WEST  
OREM, UT 84058

KIDD PROPERTIES LLC  
--OR CURRENT RESIDENT--  
1383 S 1110 WEST  
OREM, UT 84058

GIBBONS, MARK B & SHARON L  
--OR CURRENT RESIDENT--  
1383 S 1150 WEST  
OREM, UT 84058

1385 CHAMBERY LLC  
--OR CURRENT RESIDENT--  
1385 S 1110 WEST  
OREM, UT 84058

RUCKER, BENJAMIN  
1385 S 1150 W  
OREM, UT 84058

CHRISTENSEN, LOWELL THORWALD  
1385 S 1220 W  
OREM, UT 84058

WILLIAMSON, WAYNE & KARLA  
--OR CURRENT RESIDENT--  
1387 S 1110 WEST  
OREM, UT 84058

HOVEY, ROBERT J  
1388 S 1220 W  
OREM, UT 84058

CHAIDES, RICARDO  
1391 S 1020 W  
OREM, UT 84058

FISHER, HAILEY & DUSTIN P (ET AL)  
1392 S 1050 W  
OREM, UT 84058

CHAMBERY WOODS LLC  
--OR CURRENT RESIDENT--  
1393 S 1020 WEST  
OREM, UT 84058

GLAZIER, SCOTT B & MAXINE Y  
--OR CURRENT RESIDENT--  
1394 S 1050 WEST  
OREM, UT 84058

WILKINSON, KEVIN LYNN &  
SHARON LUNT (ET AL)  
--OR CURRENT RESIDENT--  
1395 S 1020 WEST  
OREM, UT 84058

CENTRAL BANK (ET AL)  
--OR CURRENT RESIDENT--  
1396 S 1050 WEST  
OREM, UT 84058

SMITH, JASON K  
--OR CURRENT RESIDENT--  
1397 S 1020 WEST  
OREM, UT 84058

DEAVER, TOMMY F & VICTORIA  
--OR CURRENT RESIDENT--  
1398 S 1050 WEST  
OREM, UT 84058

TULIP, SHANELL L  
1399 S 1020 W  
OREM, UT 84058

UNION PACIFIC RAILROAD  
COMPANY  
1400 DOUGLAS ST MAIL STOP 1690  
OMAHA, NE 68179

CHAMBERY WOODS LLC  
--OR CURRENT RESIDENT--  
1400 S 1050 WEST  
OREM, UT 84058

JP FLETCHER HOLDINGS LLC  
--OR CURRENT RESIDENT--  
1401 S 1020 WEST  
OREM, UT 84058

WELCH, DIANA L (ET AL)  
--OR CURRENT RESIDENT--  
1402 S 1050 WEST  
OREM, UT 84058

HEMMERT, TYLER JASON  
1403 S 1020 W  
OREM, UT 84058

LEHNARDT, RUEDIGER K R & L  
CAREL  
--OR CURRENT RESIDENT--  
1404 S 1050 WEST  
OREM, UT 84058

VOVIN HOLDINGS LLC  
--OR CURRENT RESIDENT--  
1405 S 1020 WEST  
OREM, UT 84058

FAULKNER, WILLIAM C & HARLI M  
1406 S 1050 W  
OREM, UT 84058

CHAMBERY WOODS LLC  
--OR CURRENT RESIDENT--  
1407 S 1020 WEST  
OREM, UT 84058

SHUMWAY, PATRICK W & CORINNE  
M (ET AL)  
--OR CURRENT RESIDENT--  
1408 S 1050 WEST  
OREM, UT 84058

OREM R LLC  
--OR CURRENT RESIDENT--  
1409 S 1020 WEST  
OREM, UT 84058

BENNION, DONALD D & AMY P  
--OR CURRENT RESIDENT--  
1410 S 1050 WEST  
OREM, UT 84058

DUNN, WILBUR J & TAMMY T  
1411 S 1020 W  
OREM, UT 84058

VILLAR, MIRTA L (ET AL)  
1412 S 1050 W  
OREM, UT 84058

RAMIREZ, ELVIRA  
1412 S 1300 W  
OREM, UT 84058

RAMIREZ, ELVIRA  
--OR CURRENT RESIDENT--  
1412 S GENEVA RD  
OREM, UT 84058

JACKMAN, BRADLEY JAY & VICKI  
LYNN  
--OR CURRENT RESIDENT--  
1413 S 1020 WEST  
OREM, UT 84058

HOWELL, KORBY J (ET AL)  
--OR CURRENT RESIDENT--  
1414 S 1050 WEST  
OREM, UT 84058

JOHNSON, CHAD NATHAN & MANDY  
SPICE (ET AL)  
--OR CURRENT RESIDENT--  
1417 S GENEVA RD  
OREM, UT 84058

CHURCH OF JESUS CHRIST OF  
LATTER-DAY SAINTS THE  
--OR CURRENT RESIDENT--  
1423 S GENEVA RD  
OREM, UT 84058

JACOBSON, VIRGINIA  
1426 21ST ST S  
ARLINGTON, VA 22202

CORP OF PRES BISHOP CHURCH OF  
JESUS CHRIST OF LDS  
--OR CURRENT RESIDENT--  
1471 S GENEVA RD  
OREM, UT 84058

WARBURTON, JARED LYNN  
1472 E 500 N  
LEHI, UT 84043

CLINGER, EDITH S  
1493 S GENEVA RD  
OREM, UT 84058

JACKMAN, BRADLEY JAY & VICKI  
LYNN  
1495 N 450 E  
OREM, UT 84097

CLINGER FAMILY PARTNERSHIP  
1511 S GENEVA RD  
OREM, UT 84058

GIBBONS, MARK B & SHARON L  
1524 N 725 E  
BOUNTIFUL, UT 84010



WELCH, JOHN & DEBRA (ET AL)  
--OR CURRENT RESIDENT--  
1526 S GENEVA RD  
OREM, UT 84058

MS-UTAH PROPERTIES LC  
1553 CHAPEL OAKS CIR  
SANDY, UT 84093

UTAH STATE DEPT OF NATURAL  
RESOURCES  
%DIVISION OF WILDLIFE  
1596 W NORTH TEMPLE  
SALT LAKE CITY, UT 84116

WILKS, JARED & KELLY  
1683 N 210 E  
OREM, UT 84057

PARRY, NICOLE  
1714 N 850 W  
OREM, UT 84057

BUNNELL FARMS INC  
1723 N GENEVA RD  
PROVO, UT 84601

JOHNSON, DALE C & CHERYL B  
1738 S GENEVA RD  
OREM, UT 84058

HASTRITER, MICHAEL WAYNE &  
PAULINE LORRAINE (ET AL)  
1745 S NEVADA AVE  
PROVO, UT 84606

VILLALOBOS, EFRAIN  
1801 E CRANBERRY WY  
SPRINGVILLE, UT 84663

JP FLETCHER HOLDINGS LLC  
1846 N 200 W  
OREM, UT 84057

JASON BENCH  
1911 N MAIN STREET  
OREM, UT 84057-2101

WELCH, DIANA L (ET AL)  
1934 W 475 S  
OREM, UT 84058

RDLO LIEG LLC  
2038 E 9060 S  
SANDY, UT 84093

JONES, ROBERT I & EARLENE  
BARNEYCASTLE  
2120 N APACHE DR  
KINGMAN, AZ 86401

REDD, BRANDT & JULIE  
2125 N 1450 E  
PROVO, UT 84604

MARKIDES, MARIO D  
2188 W 470 S  
PROVO, UT 84601

SHUMWAY, PATRICK W & CORINNE  
M (ET AL)  
2424 W 800 N  
PROVO, UT 84601

GOODALL INVESTMENTS LLC  
2448 S SHOREWOOD DR  
SARATOGA SPRINGS, UT 84045

ELMCREST ENTERPRISES LLC  
2594 W 500 N  
PROVO, UT 84601

SCHICK, MICHAEL T  
2708 LA PAZ RD # 17  
ALISO VIEJO, CA 92656

LAMBERT, PATRICIA V  
2947 S ATLANTIC AV APT 1001  
DAYTONA BEACH, FL 32118

JOHNSON, MARGIE K  
3266 N 200 W  
LEHI, UT 84043

WILLIAMSON, WAYNE & KARLA  
3468 W EDEN VIEW DR  
SOUTH JORDAN, UT 84095

MUNIZ, JEFF  
3630 AZALEA CT  
PANAMA CITY, FL 32405

BAIRD HOLDINGS LLC  
3714 HAMPSHIRE CT  
IDAHO FALLS, ID 83404

TILDEN, ROGER B & VALERIE J (ET  
AL)  
4342 SUNGATE DR  
PALMDALE, CA 93551

BROWN, VANIA  
4353 MILE HIGH DR  
PROVO, UT 84604

ATHERLY, WILLIAM SCOTT & PEGGY  
G  
4403 BONNEVILLE CIR  
ROCKLIN, CA 95677

UTAH DEPARTMENT OF  
TRANSPORTATION  
4501 S 2700 W  
WEST VALLEY CITY, UT 84119

PRATT, BRIAN  
4672 BROOKSHIRE CIR  
PROVO, UT 84604

PETERSON, COLEEN  
4675 BROOKSHIRE CIR  
PROVO, UT 84604

SUMMERS, DAVID & LEUTE  
4999 KAHALA AVE APT 241  
HONOLULU, HI 96816

OAKHURST APARTMENTS LLC  
%SHUPE, PAUL  
5086 S 2050 E  
SALT LAKE CITY, UT 84117

CHAMBERY WOODS LLC  
5132 N 300 W STE 100  
PROVO, UT 84604

WELCH, JOHN & DEBRA (ET AL)  
5148 S COTTONWOOD LN  
SALT LAKE CITY, UT 84117

REAM, JOSEPH JAMES & KAY S  
5269 WINDSOR LA  
HIGHLAND, UT 84003

CALNEAL WEST LLC  
%CALL, HENRY M  
6541 W BURGH WAY  
HIGHLAND, UT 84003

WIESE, JERRY A II & KRISTINE D (ET AL)  
7131 SUDLEY CT  
LAS VEGAS, NV 89131

LEROY, DANIEL C & JANIE R (ET AL)  
8973 KINGS HILL DR  
COTTONWOOD HEIGHTS, UT 84121

ROSE, DALE P  
9357 N SUNNYVALE DR  
EAGLE MOUNTAIN, UT 84005

HASSEY, MARK C  
10468 N 6790 W  
HIGHLAND, UT 84003

GKM FAMILY LLC (ET AL)  
11576 S STATE ST # 102B  
DRAPER, UT 84020

THOLEN, JON & HOLLY J  
12233 NW I STEET  
POMPANO BEACH, FL 33071

STEVENS, KIM R  
13755 SHADOW MOUNTAIN LA  
DRAPER, UT 84020

WARD, BENJAMIN M & BROOKE (ET AL)  
14305 SPYGLASS CIR  
CHOWCHILLA, CA 93610

SANDERS, DAVID L  
15097 OSCEOLA RD  
APPLE VALLEY, CA 92307

BEESON, SAMUEL M  
21635 NE 14TH PL  
SAMMAMISH, WA 98074

KAVANAGH, KEVIN F & DEBRA D  
24235 VALLEY ST  
NEWHALL, CA 91321



# Development Review Committee (DRC) Application Ordinance Amendment

Development Services Department 56 North State Street, Orem, Utah (801) 229-7183 [www.orem.org](http://www.orem.org)

## Applicant Information

<b>Name:</b> The Church of Jesus Christ of Latter-Day Saints (Tom Heath - Project Manager)	<b>Phone:</b> 801-240-2176
<b>Address:</b> 50 E North Temple	<b>Email:</b> <a href="mailto:heath4242@churchofjesuschrist.org">heath4242@churchofjesuschrist.org</a>
<b>City:</b> Salt Lake City	<b>State:</b> Utah <b>Zip:</b> 84150

## Project Information

Project Name	Orem Utah Temple
Project Address	1471 South Geneva Road.

Request	Fees	Total
Subdivision Text	\$1,160	
X Zoning Text*	\$1,160	\$1,160
Sign Text Amendment	\$1,160	
X Rezone*	\$1,228 + \$689 sign fee	\$1,917
New PD Zone Text*	\$3,685 + \$689 sign fee	
Land Use Map Change	\$1,057 + \$689 sign fee	
General Plan Text Change	\$1,057 + \$689 sign fee	
Neighborhood Notice	TBD at time of submittal, if needed	
X Public Notice	\$100 each for PC and CC, if needed	\$205
Development Agreement UT Co. Fees	TBD at time of recordation	
Total		\$3,281

## Required Copies

Two (2) full-size copies no larger than 24" x 36", one (1) 11" x 17" and a PDF and/or Word of all applicable drawings and plans. Files can be emailed to Cheryl Vargas at [chvargas@orem.org](mailto:chvargas@orem.org) or submitted on disc/flash drive prior to the deadline.

## General Notes, Signature, and Contact Person

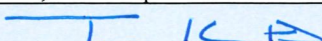
**Deadline.** The deadline for filing a DRC application is Monday noon for first review the following Thursday. In the case of a Monday holiday, the deadline is Tuesday at noon. Contact information to inquire about the status of an application: 801.229.7183

**Filing Fee Notice.** Applications filed after July 1 are subject to fee changes regardless of the fee listed on the application used at the time of submittal.

**\*DRC Application.** The DRC application must be complete at the time of submittal or it may not be accepted. An application to amend Chapter 22 or the zoning map shall expire if the application has not been approved or scheduled for review and approval by the approving authority within twelve months after the date it was submitted. An application to amend Chapter 22 or the zoning map shall also expire immediately following the passage of six months of no activity with respect to the application. Upon expiration, an application for an amendment to Chapter 22 including a zone map shall be considered null and void and a new application must be submitted, and fees paid. (22-1-5)

**Neighborhood Meeting.** The applicant shall hold a neighborhood meeting in accordance with City Code for the following requests: General Plan amendments, Zoning Ordinance amendments, commercial developments adjacent to a residential zone, all non-residential uses in a residential zone.

**Planning Commission/City Council Meetings.** Once the Development Review Committee determines your application is complete and complies with all applicable City ordinances, it shall be forwarded to the Planning Commission if required, and City Council, if required. The City Council is the final approving authority of conditional use permits, appeals, City Code amendments, General Plan amendments, fence modifications, and site plans in the following zones: PD-1, PD-4, PD-5, PD-15, PD-16, and PD-21.

**Applicant's Signature:** 

<b>Contact Person:</b> Tom Heath	<b>Phone:</b> 801-240-2176	<b>Email:</b> <a href="mailto:heath4242@churchofjesuschrist.org">heath4242@churchofjesuschrist.org</a>
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## Office Use Only

28 August 2019

<b>Date Filed:</b>	<b>Fees Paid:</b>	<b>Received By:</b>	<b>Receipt #:</b>
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ORDINANCE NO.

AN ORDINANCE BY THE OREM CITY COUNCIL ENACTING SECTION 22-11-63 (*PD-50 ZONE (OREM UTAH TEMPLE) – 1465 SOUTH GENEVA ROAD*) AND APPENDIX “XX” OF THE OREM CITY CODE, AND AMENDING ARTICLE 22-5-3(A) AND THE ZONING MAP OF THE CITY OF OREM BY CHANGING THE ZONE ON APPROXIMATELY 15.39 ACRES AT 1465 SOUTH GENEVA ROAD FROM THE OS5 ZONE TO THE PD-50 ZONE

WHEREAS on March 9, 2020, Tom Heath, as agent for The Church of Jesus Christ of Latter-Day Saints, filed an application with the City of Orem requesting the City Council enact Section 22-11-63 (*PD-50 Zone (Orem Utah Temple) – 1465 South Geneva Road*) and Appendix “XX” of the Orem City Code, and amend Article 22-5-3(A) and the zoning map of the City of Orem by changing the zone on approximately 15.39 acres at 1465 South Geneva Road from the OS5 zone to the PD-50 zone; and

WHEREAS a public hearing considering the subject application was held by the Planning Commission on April 1, 2020; and

WHEREAS a public hearing considering the subject application was held by the City Council on April 14, 2020; and

WHEREAS the agenda of the Planning Commission meeting and the City Council meeting at which the subject application was heard were mailed to all residents and property owners within 500 feet of the subject property and were posted at the Orem Public Library, on the Orem City webpage and at the City offices at 56 North State Street and were noticed in the Daily Herald; and

WHEREAS the matter having been submitted and the City Council having fully considered the request as it relates to the health, safety, and general welfare of the City; the orderly development of land in the City; the effect upon the surrounding neighborhood; the compliance of the request with all applicable City ordinances and the Orem General Plan, and the special conditions applicable to the request.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF OREM, UTAH, as follows:

1. The City Council finds this request is in the best interest of the City because it will allow for the development of a temple and church building that will be attractive and will enhance the aesthetic quality of the area in which it will be located. The City Council also finds that the layout of the streets and buildings as shown in Appendix XX will provide adequate access to and

from the site and that Geneva Road and 1100 West are or will be capable of meeting the traffic demands of the proposed development in addition to currently existing traffic and that the traffic generated by the proposed site will not overburden said streets.

2. The City Council hereby enacts Section 22-11-63 (*PD-50 Zone (Orem Utah Temple) – 1465 South Geneva Road*) and Appendix “XX” of the Orem City Code and amends Article 22-5-3(A) and the zoning map of the City of Orem by changing the zone on approximately 15.39 acres at 1465 South Geneva Road from the OS5 zone to the PD-50 zone as shown in Exhibit “A” which is attached hereto and incorporated herein by reference.

3. This ordinance shall take effect immediately upon passage and publication in a newspaper of general circulation in the City.

4. If any part of this ordinance shall be declared invalid, such decision shall not affect the validity of the remainder of this ordinance.

PASSED, APPROVED and ordered PUBLISHED this 14<sup>th</sup> day of April 2020

Richard F. Brunst, Mayor

ATTEST:

\_\_\_\_\_  
Jody Bates, City Recorder

COUNCIL MEMBERS VOTING “AYE”

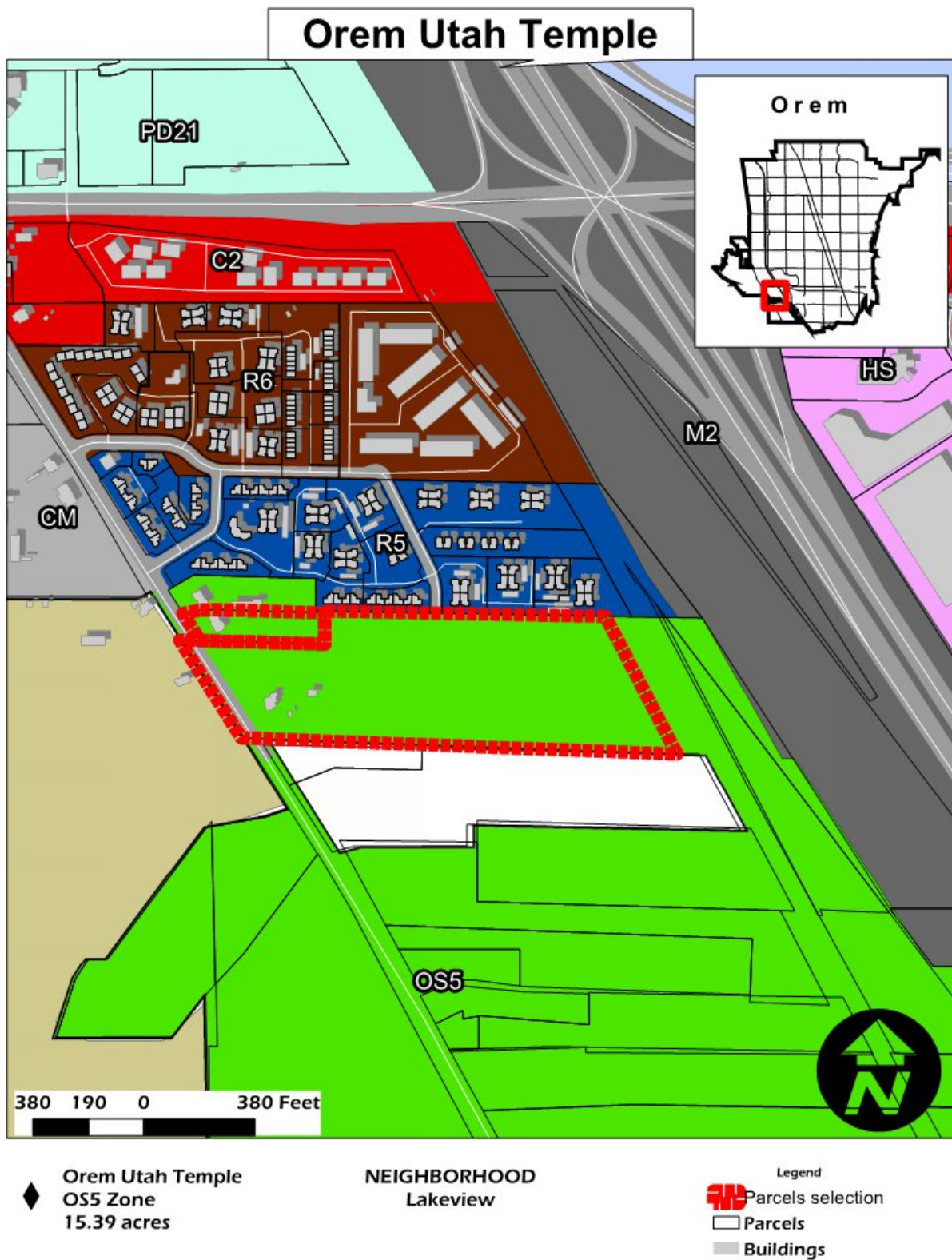
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COUNCIL MEMBERS VOTING “NAY”

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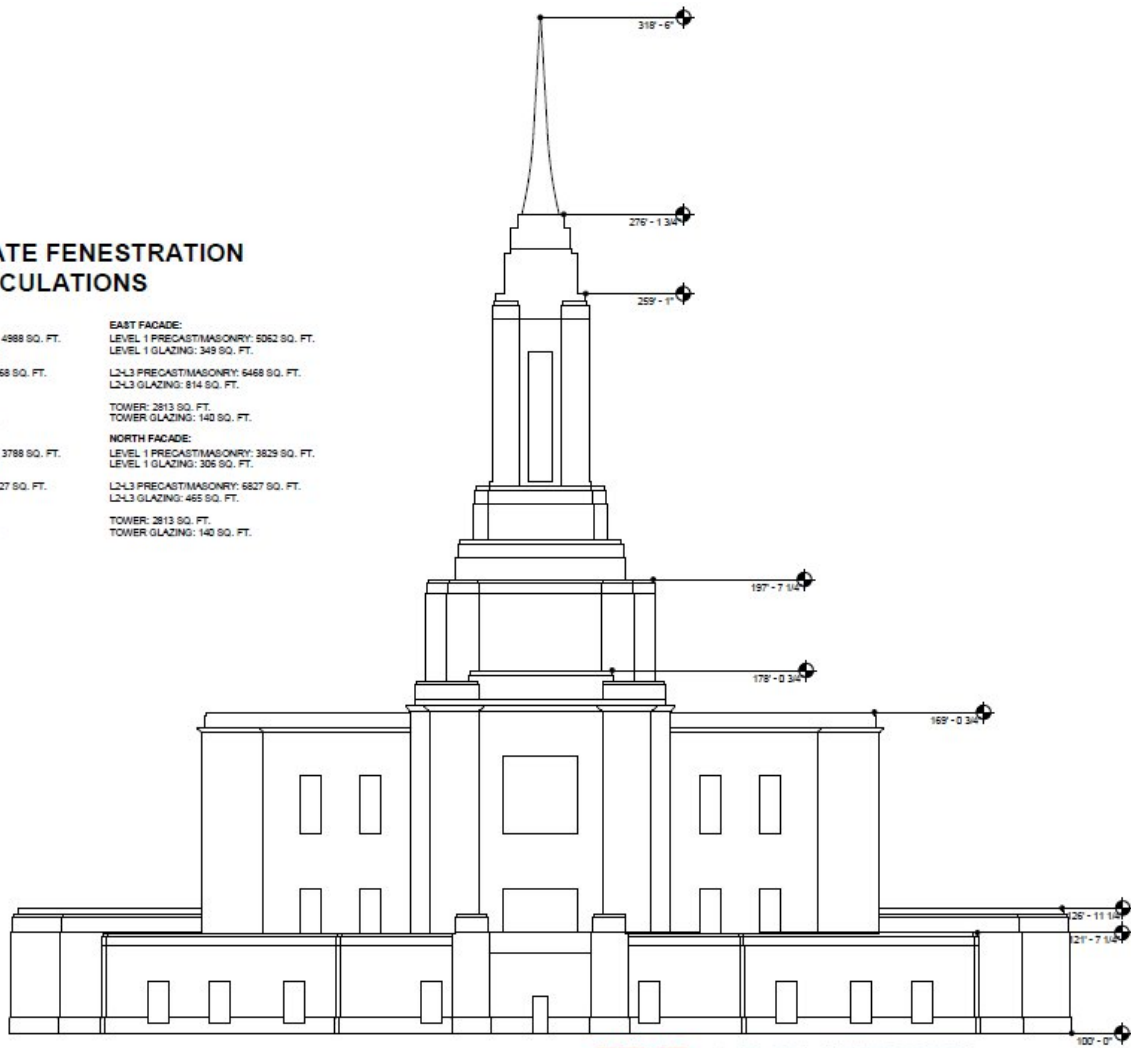
Appendix XX



Appendix XX

APPROXIMATE FENESTRATION  
CALCULATIONS

<b>WEST FACADE:</b>	<b>EAST FACADE:</b>
LEVEL 1 PRECAST/MASONRY: 4988 SQ. FT.	LEVEL 1 PRECAST/MASONRY: 5062 SQ. FT.
LEVEL 1 GLAZING: 423 SQ. FT.	LEVEL 1 GLAZING: 349 SQ. FT.
L2-L3 PRECAST/MASONRY: 6468 SQ. FT.	L2-L3 PRECAST/MASONRY: 6468 SQ. FT.
L2-L3 GLAZING: 814 SQ. FT.	L2-L3 GLAZING: 814 SQ. FT.
TOWER: 2813 SQ. FT.	TOWER: 2813 SQ. FT.
TOWER GLAZING: 140 SQ. FT.	TOWER GLAZING: 140 SQ. FT.
<b>SOUTH FACADE:</b>	<b>NORTH FACADE:</b>
LEVEL 1 PRECAST/MASONRY: 3788 SQ. FT.	LEVEL 1 PRECAST/MASONRY: 3829 SQ. FT.
LEVEL 1 GLAZING: 347 SQ. FT.	LEVEL 1 GLAZING: 305 SQ. FT.
L2-L3 PRECAST/MASONRY: 6827 SQ. FT.	L2-L3 PRECAST/MASONRY: 6827 SQ. FT.
L2-L3 GLAZING: 465 SQ. FT.	L2-L3 GLAZING: 465 SQ. FT.
TOWER: 2813 SQ. FT.	TOWER: 2813 SQ. FT.
TOWER GLAZING: 140 SQ. FT.	TOWER GLAZING: 140 SQ. FT.

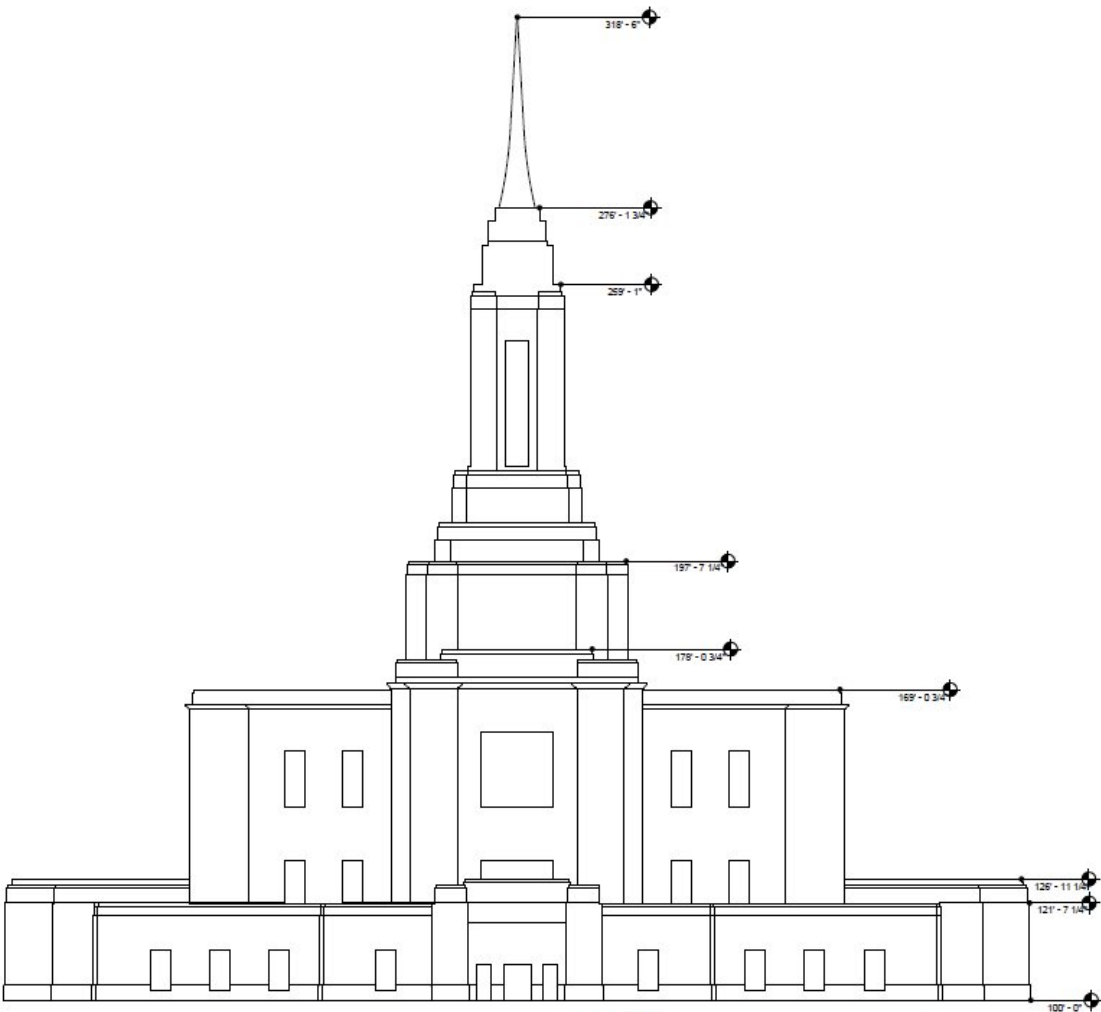


OREM UTAH TEMPLE  
EAST ELEVATION OUTLINE

FFKR ARCHITECTS



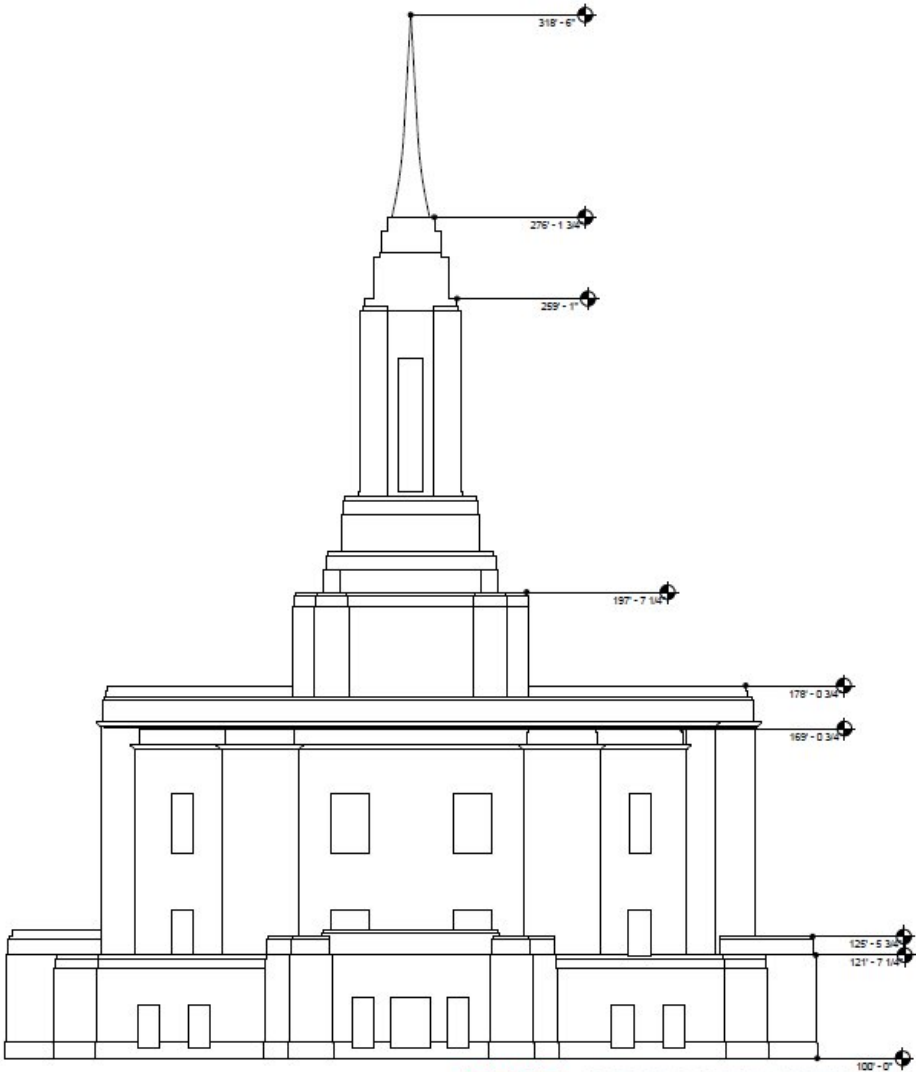
Appendix XX



OREM UTAH TEMPLE  
WEST ELEVATION OUTLINE

FFKR ARCHITECTS

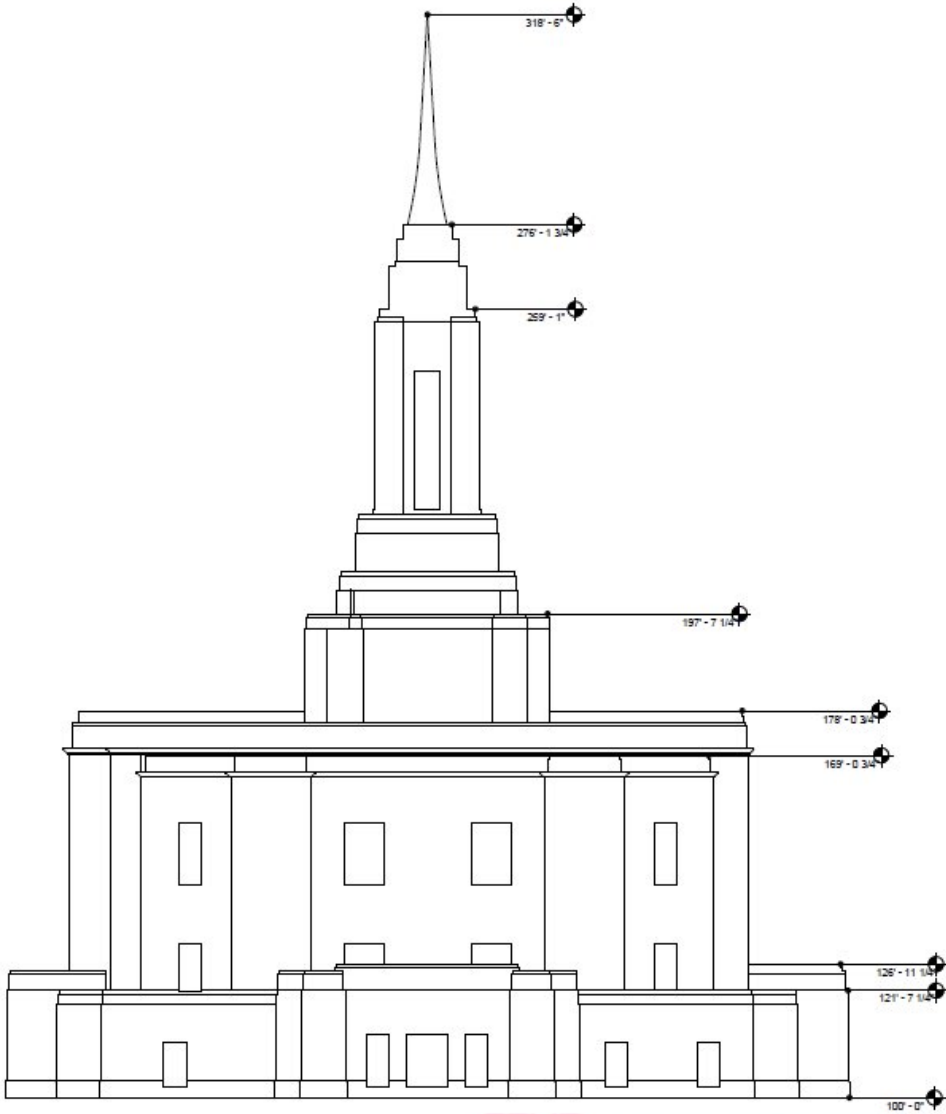
Appendix XX



OREM UTAH TEMPLE  
SOUTH ELEVATION OUTLINE

FFKR ARCHITECTS

Appendix XX

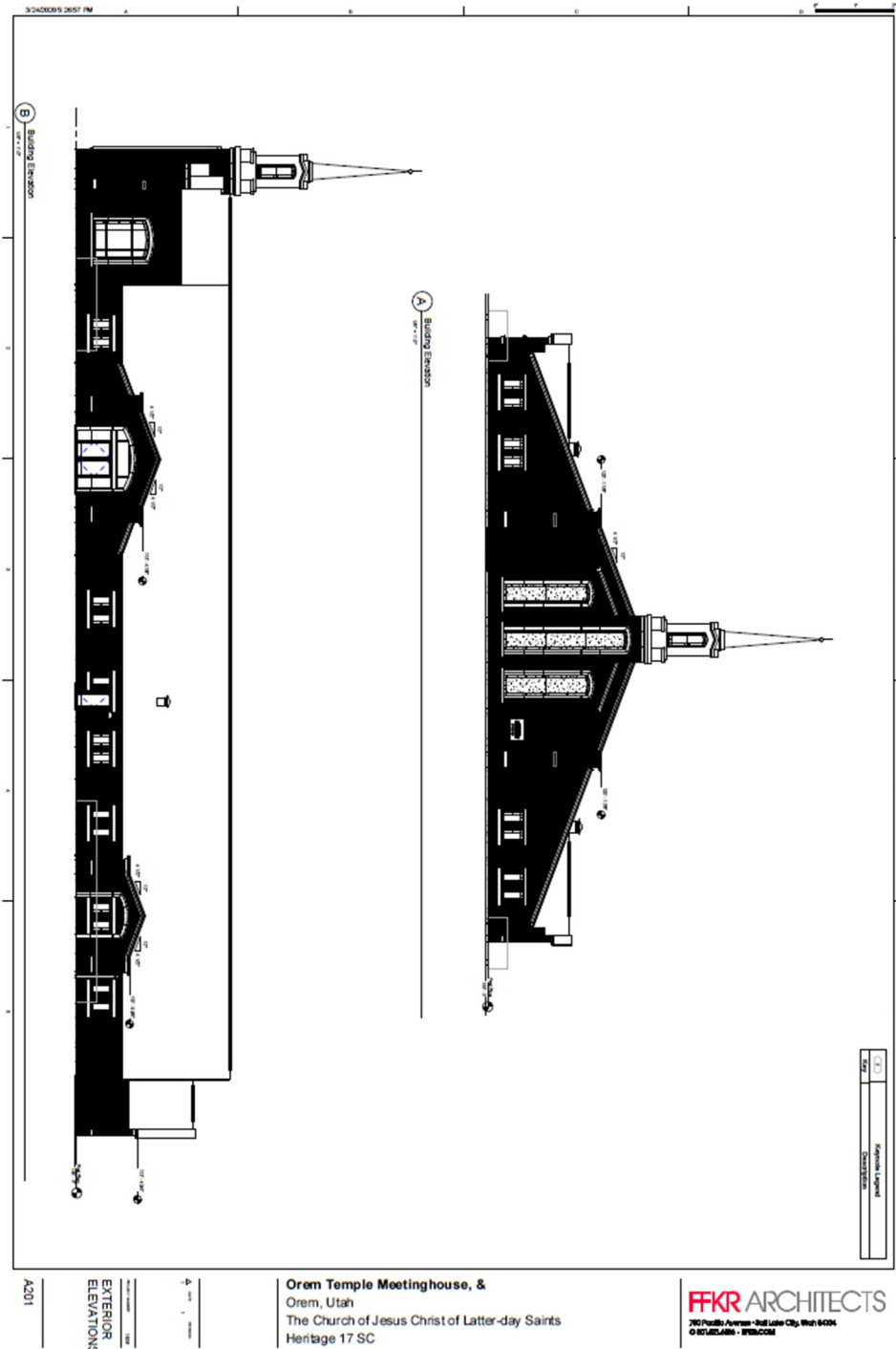


OREM UTAH TEMPLE  
NORTH ELEVATION OUTLINE

FFKR ARCHITECTS



Appendix XX



## 22-11-45. PD-50 Zone (Orem Utah Temple) – 1465 South Geneva Road

A. **Purpose.** The purpose of the PD-50 zone is to allow development of a temple site and church building. The PD-50 zone is designed to be applied only to a parcel of property located at approximately 1465 South Geneva Road as shown in Appendix “XX.”

B. **Concept Plan.** Property in the PD-50 zone shall be developed in conformance with the concept plan included as Appendix “XX” of the Orem City Code which is incorporated herein by reference and made a part hereof.

C. **Permitted Uses.** Churches, synagogues and temples (SLU 6911) are permitted in the PD-50 zone. All other uses are prohibited.

D. **Final Plat.** A final plat that conforms to all development standards and requirements of Chapter 17 must be approved and recorded by the City prior to any development in the PD-50 zone.

E. **Site Plan.** All development standards and site plan requirements of Section 22-14-20 shall apply to any development in the PD-50 zone. All public improvements shown on an approved site plan or amended site plan shall be completed within two (2) years of the date of approval of the site plan or recording of the final plat, whichever is later. If the improvements are not completed within the time specified, the City shall have the option of taking action on the bond to complete the improvements or of voiding the approval. An applicant may request an extension of up to two (2) years for the completion of improvements from the Director of Development Services. An extension of two (2) years may be granted only if the applicant demonstrates good cause for not completing the improvements and demonstrates the present ability to complete the improvements. Market conditions shall be considered as a factor in determining whether or not an extension should be granted.

F. **Development Standards and Requirements.** The following development standards and requirements shall apply to all development in the PD-50 zone:

1. **Height.** The height of any structure or portion thereof shall not exceed the height of said structure (or portion thereof) shown in Appendix XX.

2. **Setbacks.** All buildings shall be set back a distance from all streets, exterior property lines and other buildings as shown in Appendix XX.

3. **Architectural Style.** Development in the PD-50 zone shall incorporate an aesthetically pleasing architectural and design theme that conforms to the style and quality shown in Appendix “XX.” Exterior finish materials shall consist of some or all of the following: brick, stucco, stone, fiber cement panels, precast concrete, and fiberglass. Window frames shall consist of aluminum, vinyl or wood.

4. **Utilities.** All structures shall be served by the public sewer system and public water supply. All utilities shall be placed underground. No water or sewer lines shall be placed under covered parking areas.

5. **Landscaping.** Landscaping shall be provided as generally shown in the concept plan. All land not covered by buildings, driveways, sidewalks or parking areas shall be permanently landscaped with trees, shrubs, lawn, or living ground cover.

a. A landscaping plan shall be submitted to the City for approval as a part of the site plan.

b. All landscaping shall be maintained in accordance with good landscaping practice.

c. Deciduous trees at least two (2) inches in caliper measured six inches above ground level, and evergreen trees at least five (5) feet in height, are required at a ratio of one deciduous and one evergreen per every three thousand (3,000) square feet of landscaped area. Two shrubs at least five (5) gallons in size are also required for every three thousand (3,000) square feet of landscaped area. Trees shall be planted and maintained in the landscaped areas as generally shown in the concept plan.

d. Trees shall be planted in the landscaped areas along Geneva Road and shall be spaced no more than forty feet apart. Trees along Geneva Road shall be selected from the trees listed in Appendix "U" of the Orem City Code. The required trees shall be at least two inches (2") in caliper measured four feet (4') above the ground.

**6. Lighting Plan.** Any development in the PD-50 zone shall include a lighting plan. There shall be no direct glare onto adjacent properties. All parking lots shall be well lit and in accordance with Appendix "XX." The lighting plan shall be designed to:

- a. discourage crime;
- b. enhance the safety of the pedestrians and guests of the PD-50 development; and
- c. enhance the appearance and design of the project.

**7. Parking.** A minimum of 381 parking stalls shall be provided in the PD-50 zone. This parking requirement is based on the specific parking requirements for SLU 6911 (churches, synagogues and temples) as set forth in section 22-15-4(G)(6) of the Orem City Code. All parking spaces, parking areas and driveways shall be paved with asphalt, concrete and/or concrete pavers and shall be designed to allow for proper drainage.

**8. Off-site Improvements.** Off-site curb, gutter, sidewalk, and/or other improvements may be required by the City if development on the site contributes to a need for such off-site facilities and the improvements required are roughly proportional to the amount of the off-site impact caused by development in the PD-50 zone

**9. Minimum Lot Size.** The minimum lot size in the PD-50 zone shall be one-half (0.50) acre.

**10. Soils Report.** A soils report prepared by a soils engineer shall be submitted to the City prior to the approval of any site plan in the PD-50 zone. All development shall comply with the recommendations of the soils report.

**11. Storage Areas and Solid Waste Receptacles.** All outside storage areas and solid waste receptacles which are not located within a building shall be enclosed on three sides with the same materials as used on the exterior of the main structures within the development and shall have sight-obscuring gates.

**12. Masonry Wall.** A seven foot (7') high masonry wall is required along all property lines that adjoin a residential zone east of 1100 West. However, the height of the masonry wall shall be reduced to three feet in clear vision areas.

**13. Accesses.** Development in the PD-50 zone shall have one access from Geneva Road and one access from 1100 West as shown in Appendix XX. That portion of 1100 West that crosses the property in the PD-50 zone shall be a public street. All other streets and drives in the PD-50 zone shall be private.

**14. Storm Water Facilities Plan.** Development in the PD-50 zone shall conform to all current City storm water ordinances, standards, and specifications. Roof drainage shall discharge through landscaped areas where practical.

**15. Signs** All signage in the PD-50 zone shall comply with Chapter 14 of the Orem City Code.

**16. Sidewalks.** A buffered sidewalk separated from the street by a landscaped strip shall be installed and maintained adjacent to all public streets. The sidewalk shall be ten feet (10') in

width adjacent to Geneva Road and six feet (6') in width adjacent to 1100 West. The landscaped strip shall be at least eight feet (8') in width and shall be bermed to a height of at least one foot above the grade of the adjacent sidewalk. The landscaped strip shall be maintained with grass and trees with trees being planted and maintained in the buffering landscaped strip and spaced no more than forty feet (40') apart. Trees in the buffering landscaped strip shall be selected from Appendix U of the Orem City Code and shall be at least two inches (2") in caliper when planted. At least a proportionate share of the required sidewalk and buffering landscaped strip improvements shall be constructed with each phase of development in the PD-50 zone.

17. **Site Maintenance.** The site shall be maintained free from trash, weeds, garbage, paper and other refuse.

Planning Commission Minutes - April 1, 2020 - DRAFT

Agenda Item **3.1** is a request by The Church of Jesus Christ of Latter-Day Saints for the City to enact Section 22-11-63 PD-50 (*Orem Utah Temple – 1465 South Geneva Road*) Zone, and Appendix “XX” of the Orem City Code, and amend Article 22-5-3(A) and the zoning map of the City of Orem by changing the zone on approximately 15.39 acres from the OS5 zone to the PD-50 zone at 1465 South Geneva Road.

**Staff Presentation:** The purpose of the proposed PD-50 zone would allow for the development of a temple site and a church building. The proposed zone is designed to be applied only to a parcel of property located at approximately 1465 South Geneva Road.

No other use except churches, synagogues, and temples are permitted in the proposed zone.

Development on the parcel would be required to conform the standards outlined in the PD-50 zone and the concept plan and exhibits outlined in Appendix XX of the Orem City Code.

The height of the proposed temple structure is approximately 70 feet to the top of the main structure with and overall height of 218 feet and 6 inches to the top of the central spire.

Parking for both the temple and the stake center require 1 parking stall for every 4 fixed seats. The proposed fixed seats include 722 for the temple and 802 for the stake center. Based on the parking standards, a total of 381 parking stalls are required. The site contains a total of 520 stalls with an option of an additional 136 stalls as shown on the concept plan for future expansion, if needed.

**Recommendation:** The Development Review Committee determined this request complies with the Orem City Code. Staff recommends the Planning Commission forward a positive recommendation to the City Council to enact Section 22-11-63 PD-50 (*Orem Utah Temple – 1465 South Geneva Road*) Zone, and Appendix “XX” of the Orem City Code, and amend Article 22-5-3(A) and the zoning map of the City of Orem by changing the zone on approximately 15.39 acres from the OS5 zone to the PD-50 zone at 1465 South Geneva Road.

Chair Cochran asked if the Planning Commission had any questions for Mr. Bench.

Chair Cochran invited the applicant to speak up via telephone. Tom Heath, Project Manager, The Church of Jesus Christ of Latter-Day Saints, introduced himself. They are excited to build on this site and are currently working through approvals on interior and exterior renderings. The elevations are generic as they are not quite ready to show final details. These do show the windows and height and it is a good representation. Mr. Cochran asked if those renderings will be available before this item goes to City Council. Mr. Heath said most likely they will not be available as they are a few months away from getting those final renderings approved. They will be released publicly when they are approved.

Mr. Spencer said traffic moves quickly on Geneva road. He asked how do vehicles get off Geneva Road and onto the temple property safely. Mr. Bench said during the site plan review, the applicant will most likely be required to do some kind of deceleration lane off Geneva Road or some type of improvement with a curb/gutter/sidewalk that would allow people to get off the road. Southbound there will be some kind of center turn lane allowing vehicles to get out of traffic and que for the turn onto the temple property. Mr. Heath said UDOT is involved with that road and talking with them about how to best address all traffic in the area and deceleration lanes, etc. Mr. Bench said that will be part of the site plan review.

Mr. Cook said he was curious where the parking requirement came from and whether it was just from this ordinance. Mr. Bench said it is the current parking standard for any church, synagogue or any type of congregation in the City. The chapel and temple will be parked separately. The church used a stake conference attendance for the parking count so the parking is probably a little high, adding a little more than what is required by ordinance.

Mr. Staker said the road in front of chapel is labeled private road, with parking on the other side of that road. That doesn't seem to be a great design as far as pedestrians accessing the building. Mr. Heath said they have looked at that and there will need to be some way to slow down traffic. They have looked at putting additional parking to the west, but they may have to use that area to retain storm water.

Chair Cochran opened the public hearing and invited those who wanted to make a comment on this item to send in their comments via email or chat.

Jonathan Concidine: He said he was concerned about the Orem Temple's plan for parking. The site plan seems to oversupply parking stalls. He asked what the rationale was for this oversupply. This oversupply takes away the opportunity for more greenspace, pavilions, or landscaping in the neighborhood. It also can contribute to unnecessary "heat island" effects, not to mention adding aesthetic dead space to a structure that should beautify the area. He asked if the Planning Commission and City Council will consider requiring that the parking provided is more fit to purpose.

Mr. Heath said they looked at various temples in Salt Lake County and Utah County to see what their needs were. This size temple usually has in the range of 500-600 parking stalls. They are trying to cut back on the chapel parking so as to not cut into the green space. Mr. Bench said the Church does design their parking lots with a lot of landscaping and it is appropriate. Staff is comfortable with this plan.

Mr. Concidine did not see plans outlining how this development will accommodate other modes of transportation, including buses and bicycles.

Mr. Bench said UTA does have a bus route on Geneva road and UTA may put a bus stop there. 1100 West is a public street, so in the site plan process staff can look at how bike lanes can be accommodated on that. Six foot sidewalks on 1100 West will be required and on Geneva Road there will be a ten foot trail/sidewalk designed for bikes and pedestrians.

Mr. Concidine asked if the sidewalks could be widened, especially on 1100 West. Many people in the development adjacent to the lot proposed for temple construction would enjoy walking to the temple. Wider sidewalks will make for more walkability in an area where walkability would matter. The current plan has the sidewalks on 1100 West at six feet wide and he asked if the City Council will consider requiring those sidewalks to be made eight to ten feet wide.

Mr. Bench said six-foot standards typically accommodate two people walking side by side and meets City requirements. Mr. Heath said six-foot wide sidewalks should be enough to make it comfortable. Mr. Earl said Mr. Concidine is asking the Planning Commission and City Council to consider a larger sidewalk. You certainly can do that. Staff working with the Church's designers have determined that six feet is an adequate width, but if you wanted to consider a wider sidewalk you certainly could. Mr. Sakar said a six-foot wide sidewalk seems sufficient and he does not think requiring a wider sidewalk will be necessary. Mr. Cochran said he feels no need to make a recommendation to the City Council to widen the sidewalks any wider than they are. Mr. Cook said the only place there could be a wider sidewalk is across the Church property on 1100 West, so it does not seem it would make that much of a difference.

Chair Cochran closed the public hearing and asked if the Planning Commission had any more questions for the applicant or staff. When none did, he called for a motion on this item.

**Planning Commission Action:** Mr. Cook moved to forward a positive recommendation to the City Council to enact Section 22-11-63 PD-50 (*Orem Utah Temple – 1465 South Geneva Road*) Zone, and Appendix "XX" of the Orem City Code, and amend Article 22-5-3(A) and the zoning map of the City of Orem by changing the zone on approximately 15.39 acres from the OS5 zone to the PD-50 zone at 1465 South Geneva Road. Mr. Spencer seconded the motion. Those voting aye: Mickey Cochran, Carl Cook, Camille Jensen, Barry Roberts, Haysam Sakar, Ross Spencer and Mike Staker. The motion passed unanimously.



**CITY OF OREM**  
**BUDGET REPORT FOR THE MONTH ENDED FEBRUARY 2020**

Percent of Year Expired: 67%

Fund	Current Appropriation	Monthly Total	Year-To-Date Total	Encumbrances	Balance	% To Date FY 2020	% To Date FY 2019	Notes
<b>10 GENERAL FUND</b>								
Revenues	54,326,110	4,404,864	34,568,919			64%		
Appr. Surplus - Current	593,896		593,896			100%		
Appr. Surplus - Prior Year	3,967,885		3,967,885			100%		
Std. Interfund Transactions	5,513,875		5,513,875			100%		
Total Resources	64,401,766	4,404,864	44,644,575		19,757,191	69%	69%	
Expenditures	64,401,766	3,281,022	39,017,814	2,602,443	22,781,509	65%	64%	
<b>20 ROAD FUND</b>								
Revenues	3,265,000	6,272	1,677,887			51%		
Appr. Surplus - Current	307,350		307,350			100%		
Appr. Surplus - Prior Year	1,928,582		1,928,582			100%		
Total Resources	5,500,932	6,272	3,913,819		1,587,113	71%	74%	
Expenditures	5,500,932	24,057	2,476,459	442,916	2,581,557	53%	60%	
<b>21 CARE TAX FUND</b>								
Revenues	2,300,000	237,343	1,246,899			54%		
Appr. Surplus - Prior Year	3,801,309		3,801,309			100%		
Total Resources	6,101,309	237,343	5,048,208		1,053,101	83%	83%	
Expenditures	6,101,309	311	2,680,336	173,021	3,247,952	47%	22%	1
<b>30 DEBT SERVICE FUND</b>								
Revenues	5,791,627	3,773	3,567,778			62%		
Appr. Surplus - Current	1,021,117	1,021,117	1,021,117					
Appr. Surplus - Prior Year	5,953		5,953			100%		
Total Resources	6,818,697	1,024,890	4,594,848		2,223,849	67%	62%	
Expenditures	6,818,697	48,488	2,475,154		4,343,543	36%	31%	
<b>45 CIP FUND</b>								
Revenues	2,052,756	10,792	1,101,504			54%		
Appr. Surplus - Prior Year	15,570,035		15,570,035			100%		
Total Resources	17,622,791	10,792	16,671,539		951,252	95%	101%	
Expenditures	17,622,791	1,039	2,412,505	3,115,702	12,094,584	31%	13%	2
<b>51 WATER FUND</b>								
Revenues	20,455,740	895,825	13,873,291			68%		
Appr. Surplus - Current Year	625,000		625,000			100%		
Appr. Surplus - Prior Year	15,218,231		15,218,231			100%		
Total Resources	36,298,971	895,825	29,716,522		6,582,449	82%	84%	
Expenditures	36,298,971	475,138	9,543,773	1,651,669	25,103,529	31%	43%	3
<b>52 WATER RECLAMATION FUND</b>								
Revenues	12,013,694	1,125,737	8,883,206			74%		
Appr. Surplus - Prior Year	7,781,881		7,781,881			100%		
Total Resources	19,795,575	1,125,737	16,665,087		3,130,488	84%	81%	
Expenditures	19,795,575	506,371	5,601,663	1,830,008	12,363,904	38%	35%	
<b>55 STORM WATER FUND</b>								
Revenues	4,994,195	435,883	3,555,986			71%		
Appr. Surplus - Current Year	614,275		614,275			100%		
Appr. Surplus - Prior Year	3,866,519		3,866,519			100%		
Total Resources	9,474,989	435,883	8,036,780		1,438,209	85%	84%	
Expenditures	9,474,989	104,172	2,536,818	199,566	6,738,605	29%	45%	3
<b>56 RECREATION FUND</b>								
Revenues	1,682,300	31,582	706,182			42%		
Appr. Surplus - Prior Year	12,180		12,180			100%		
Total Resources	1,694,480	31,582	718,362		976,118	42%	68%	
Expenditures	1,694,480	56,044	949,294	203,170	542,016	68%	73%	
<b>57 SOLID WASTE FUND</b>								
Revenues	4,025,000	317,702	2,691,694			67%		
Appr. Surplus - Prior Year	168,851		168,851			100%		
Total Resources	4,193,851	317,702	2,860,545		1,333,306	68%	69%	
Expenditures	4,193,851	235,240	2,506,519	880	1,686,452	60%	60%	

**CITY OF OREM**  
**BUDGET REPORT FOR THE MONTH ENDED FEBRUARY 2020**

Percent of Year Expired: 67%

Fund	Current Appropriation	Monthly Total	Year-To-Date Total	Encumbrances	Balance	% To Date FY 2020	% To Date FY 2019	Notes
<b>58 STREET LIGHTING FUND</b>								
Revenues	1,730,000	75,265	1,377,498			80%		
Appr. Surplus - Prior Year	864,329		864,329			100%		
Total Resources	2,594,329	75,265	2,241,827		352,502	86%	83%	
Expenditures	2,594,329	29,286	670,816	404,916	1,518,597	41%	50%	
<b>61 FLEET MAINTENANCE FUND</b>								
Revenues			1,810			100%		
Std. Interfund Transactions	830,000		830,000			100%		
Total Resources	830,000		831,810		-1,810	100%	100%	
Expenditures	830,000	48,533	579,255	3,036	247,709	70%	71%	
<b>62 PURCHASING/WAREHOUSING FUND</b>								
Revenues		15	120			100%		
Std. Interfund Transactions	395,000		395,000			100%		
Total Resources	395,000	15	395,120		-120	100%	100%	
Expenditures	395,000	19,173	264,762	2,056	128,182	68%	78%	
<b>63 SELF INSURANCE FUND</b>								
Revenues	772,000	45,164	423,598			55%		
Std. Interfund Transactions	1,345,000		1,345,000			100%		
Total Resources	2,117,000	45,164	1,768,598		348,402	84%	92%	
Expenditures	2,117,000	101,474	1,423,511	5,878	687,611	68%	84%	
<b>64 INFORMATION TECH FUND</b>								
Revenues	8,200	678	6,624			100%		
Appr. Surplus - Current Year	56,000		56,000			100%		
Appr. Surplus - Prior Year	119,123		119,123			100%		
Std. Interfund Transactions	2,430,000		2,430,000			100%		
Total Resources	2,613,323	678	2,611,747		1,576	100%	100%	
Expenditures	2,613,323	175,621	1,580,275	99,263	933,785	64%	68%	
<b>74 CDBG FUND</b>								
Revenues	1,043,380	59,520	486,471			47%		
Appr. Surplus - Prior Year	310,481		310,481			100%		
Total Resources	1,353,861	59,520	796,952			59%	31%	4
Expenditures	1,353,861	9,261	561,634	88	792,139	41%	25%	4
<b>CITY TOTAL RESOURCES</b>	<b>176,599,222</b>	<b>8,595,589</b>	<b>136,662,765</b>		<b>39,379,548</b>	<b>77%</b>	<b>77%</b>	
<b>CITY TOTAL EXPENDITURES</b>	<b>176,599,222</b>	<b>4,910,323</b>	<b>73,029,497</b>	<b>10,230,433</b>	<b>93,339,292</b>	<b>47%</b>	<b>49%</b>	

**NOTES TO THE BUDGET REPORT FOR THE MONTH ENDED FEBRUARY 2020:**

- 1) The current year expenditures are higher in comparison to the prior year due to current year expenditures being significantly higher than in the prior fiscal year at this date in time. The increase is due to the Library Hall project.
- 2) The current year expenditures are higher in comparison to the prior year due to the current year encumbrances (\$3,115,702) being significantly higher than in the prior fiscal year (\$428,763) at this date in time. Primarily due to the Library Hall construction project and the 1200 West road reconstruction project.
- 3) The current year expenditures are lower in comparison to the prior year due to various capital projects which had either expended or encumbered more funds YTD in the prior fiscal year than the current fiscal year.
- 4) Revenues and expenses for the current year are higher compared to the prior year due to the Geneva Park Renovation project which had costs of \$194,449 YTD compared to no such project in the prior year. HUD reimbursed these costs.

Note: In earlier parts of a fiscal year, expenditures may be greater than the collected revenues in a fund. The City has accumulated sufficient reserves to service all obligations during such periods and does not need to issue tax anticipation notes or obtain funds in any similar manner. If you have questions about this report, please contact Brandon Nelson (229-7010).